

Blatchford Architectural & Urban Design Checklist for Townhouse Developments

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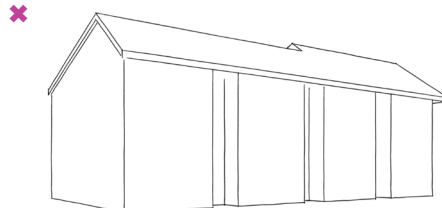
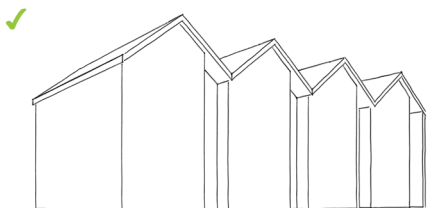
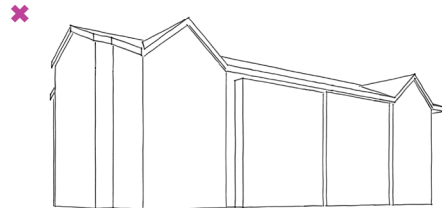
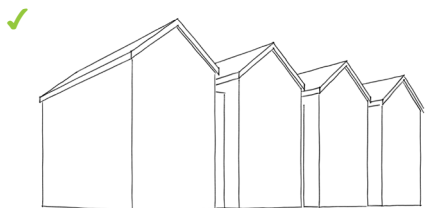
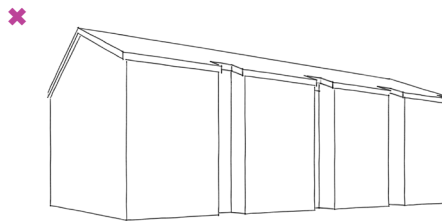
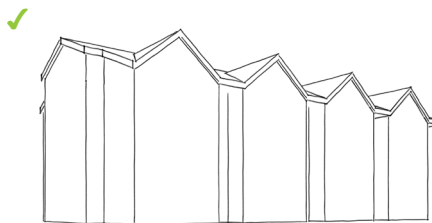
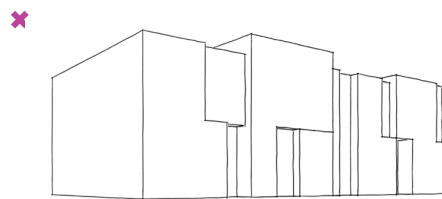
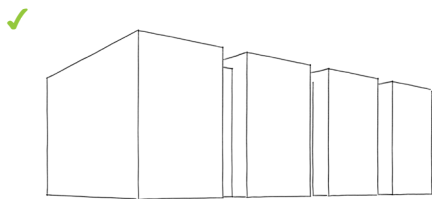
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This document provides prescriptive design requirements for both free simple and condominium townhouse developments. The information contained within is derived from Blatchford West Architectural and Urban Design Guidelines.

The Blatchford Redevelopment Office requires builders to adhere to the design requirements outlined in this document. However, alternative design approaches may be considered on a case-by-case basis if the builder can demonstrate that the project still meets the intent of the Blatchford West Architectural and Urban Design Guidelines. Deviations from the prescriptive requirements will only be considered if the builder has an architect engaged in the design.

Massing & Roofs

1. **Each townhouse unit must be individually identifiable from the front and rear elevations.** This should be achieved through the roof line as well as building articulation and material placement.
2. **Roofs must be flat or gabled and emphasize individual townhouse units.** Single rooflines spanning townhouse blocks are not acceptable. Gambrel, mansard or hip roofs are not acceptable. Shed roofs may be acceptable if used to optimize solar power generation. Gable roofs should be symmetrical and maintain consistent slopes where possible. Do not mix roof types.
3. **Townhouse massing must be repeated for each unit.**



Intent: Create consistent street wall, establish human scale and rhythm, provide legibility.

Reference: **B.1:** Building Scale and Articulation, **C.1:** Architectural Style, **C.8:** Roofs

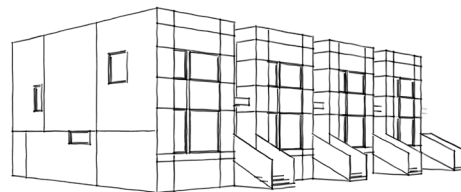
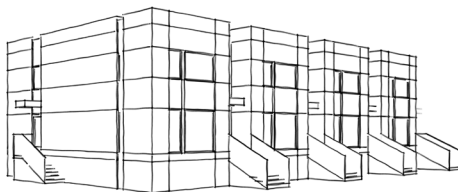
Architectural Style & Consistency

ARCHITECTURAL STYLE

4. **Style must be urban and contemporary.** Urban design addresses the street and focuses on building entries. Current contemporary designs celebrate simplicity. Straightforward geometric shapes, clean lines, simple rooflines, and functional details with minimal or purposeful ornamentation is acceptable. Faux-heritage or suburban designs are not permitted. Themes that are rustic or classic in nature (i.e. woody or cabin-like, Victorian, craftsman) are not acceptable.

360° DESIGN

5. Side elevations facing public streets, walkways or parks must have the same overall appearance and design consideration as front elevations, including articulation, materials and window placement.
6. Rear elevations must have the same overall appearance as the front elevations but may incorporate less premium materials. **Buildings must be self-referencing from any elevation.**



Intent: Establish authenticity, design consistency, timelessness and character.

Reference: **C.1:** Architectural Style, **C.3:** Architectural Design Consistency

Colours & Materials

MATERIALS PALETTE

- 7. Colours and materials must be limited to 3 types for the entire building.**
Primary material to cover 60% to 100% of building. Secondary material to cover up to 30% of building. Accent material is optional and may cover up to 10% of building. Stucco must not make up any more than 30% of any facade facing a street, and no more than 40% of other facades.

8. Only the following permitted materials can be used.

Permitted primary materials: brick, architectural block, architectural metal panels, wood composite/phenolic panels, fibre cement siding, smartboard panels.

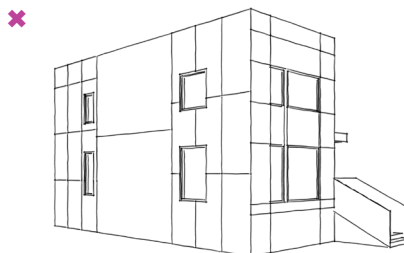
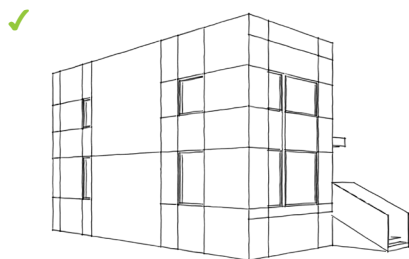
Permitted secondary materials: brick, architectural block, architectural metal panels, wood composite/phenolic panels, fibre cement siding, smartboard panels, neutral-coloured stucco (white, off-white, beige, grey, charcoal).

Brick must be incorporated on all projects.

Materials not permitted: cultured stone/ledgestone/manufactured stone/stacked stone, vinyl siding, corrugated metal, wood elements requiring annual maintenance, cladding requiring visible jointing compounds (caulking), faux printed material panels (woodgrain, stone, etc.).

MATERIAL PLACEMENT

- 9. Materials must be placed to emphasize massing.** No random patchwork design or overly complicated material applications permitted. Follow the Material Placement Strategies in Appendix I.
- 10. Reveals, joints and trim must consistently and appropriately align with windows, doors and other building elements.**



Intent: Material choices and placement create sense of authenticity, timelessness, durability and provides legibility. Material palette establishes a unifying element to the buildings

Reference: C.2 Colours and Materials

Windows & Doors

WINDOWS

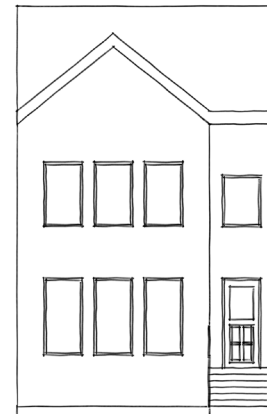
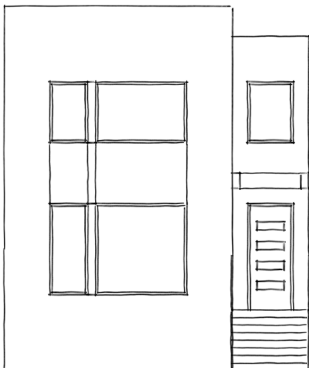
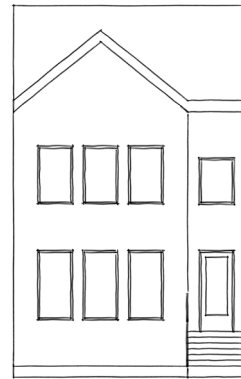
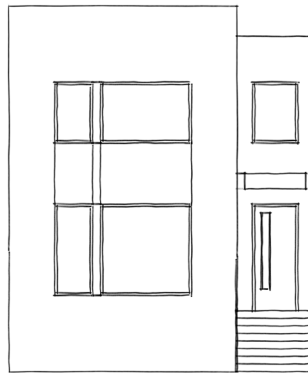
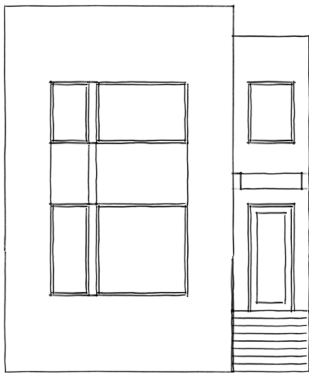
11. A minimum of 25% of building facades facing public streets, walkways or parks must be glazing and doors.
12. Windows must not be randomly placed or appear missing or disproportionate on facades. Windows must align vertically above one another.
13. Window size, shape and placement and components (mullions, casements, muntins, etc.) must be consistent with overall building massing and design and with each other.
14. Glazing must be clear and non-reflective.



Windows & Doors

DOORS

15. Door style must be consistent with the architectural style of the building.
16. All primary entrance doors must be the same. All secondary doors must maintain a style consistent with primary entrance doors.



Intent: Balanced and well-proportioned windows contribute to timelessness, character and design consistency. Doors and windows provide overlook and connection to the street.

Reference: **C.1** Architectural Style, **C.3** Architectural Design Consistency, **C.4** Connection to the Street

Facade Details

CANOPIES AND RAILINGS

17. Building components such as canopies and railings must serve a functional purpose.
18. Balcony railings must be glass or fine metal. All railings to be consistent throughout the building and accessory buildings (i.e. garage suites).
19. Canopies or overhangs must be integrated into the overall building structure to provide overhead weather protection for main entrances.

LIGHTING AND SIGNAGE

20. Exterior fixtures must complement the overall building design and be consistent on all building facades and accessory buildings.
21. Signage must complement the overall building design and be consistent across all main floor, secondary suite and garage suite entrances.

DOWNSPOUTS, GUTTERS, MECHANICAL

22. Gutters and downspouts must be aesthetically integrated into the building design.
23. All mechanical, electrical equipment and service areas must be screened with materials that complement the building design.

Intent: Design for human needs. Establish design consistency which contributes to authenticity, timelessness and character.

Reference: **C.1** Architectural Style, **C.3** Architectural Design Consistency, **C.5** Climactic Comfort, **C.13** Lighting, **C.14** Signage, **C.11** screening of mechanical and Service Areas

Urban Interface & Landscaping

MAIN FLOOR ELEVATION

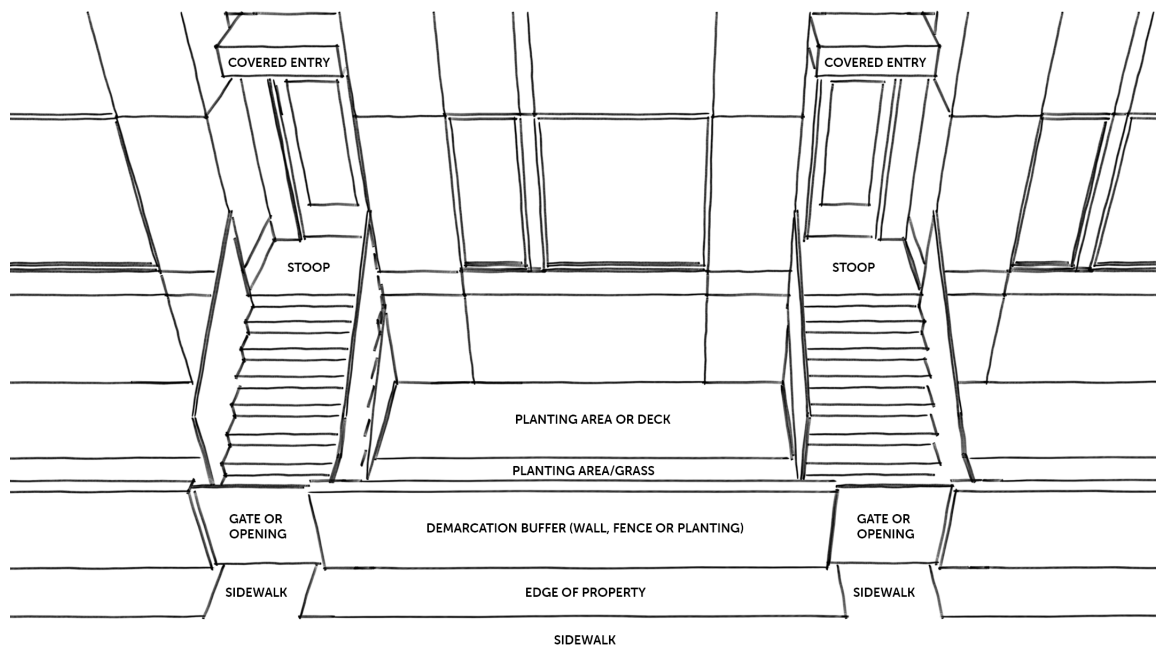
24. Townhouse main floors must be a minimum of 0.5m and a maximum of 1.5m above grade to create a stoop.

PUBLIC-FACING AMENITY AREAS

25. A minimum of one usable amenity area must be incorporated on the front or side facade of each unit. Amenity areas include patios, balconies, porches, or rooftop decks.

WALKWAYS

26. Main entries on each unit must have individual sidewalk connections to adjacent public sidewalk. Each unit to have a sidewalk connection to garage.



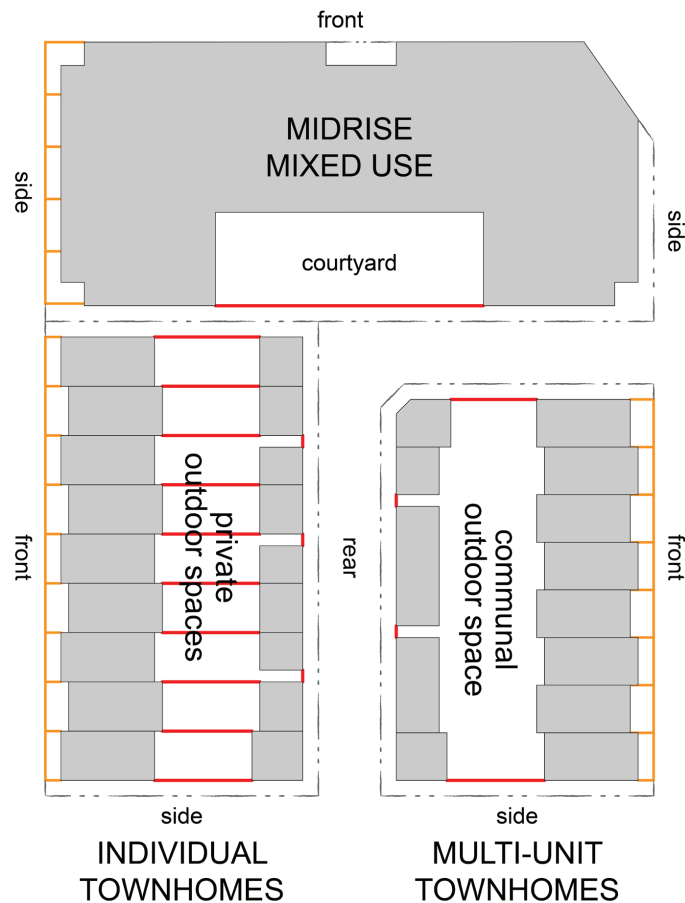
Intent: Provide connection to the street, activate street wall, provide overlook on to street, create a sense of occupancy.

Reference: **B.3** On-site Pedestrian Connections, **B.4** Ground Floor Uses and Height, **C.6** Private Outdoor Space

Urban Interface & Landscaping

FENCES & WALLS

27. Provide a maximum 1m-high fence, wall or landscape buffer (hedge or row of grasses) along the front property line.
28. Provide a maximum 1.2m-high fence, wall or landscape buffer to connect between buildings along the side and rear setbacks. For fee simple townhomes, provide fences to separate private outdoor spaces for each unit.
29. Fence and wall designs must be consistent with the overall building style and with adjacent fencing. Chain-link fence is not acceptable.
30. Individual gates or openings must be provided at all primary entrances.



— max 1m-high fence/wall/landscape buffer located on the PL

— max 1.2m-high fence/wall/landscape buffer located on the setback

Urban Interface & Landscaping

LANDSCAPING

31. Provide landscaping in all setbacks facing a street, walkway or park and incorporate landscape strips between at least every four driveways along lanes.
32. Trees and plantings must be applied consistently across all units. Front setbacks should include front and back plantings areas and an ornamental tree. All plant material must be suitable for horticultural zone 3a. Refer to Planting List & Landscape Templates in Appendix II.
33. Communal outdoor spaces for condominium townhomes must incorporate a mix of hardscaping, landscaping, plantings, and include a minimum of one amenity space (e.g. barbeque area, play area, community garden, LID feature, etc.) for each 350m² of communal space or part thereof.

Intent: Delineate public, semi-private and private space, establish entry sequence, and create connection to the street.

Reference: **C.7** Communal Outdoor Space, **C.9** Walls, Fences and Landscape Buffers, **D.1** Low Impact Development, **D.2** Plantings

Accessory Buildings & Parking

ACCESSORY BUILDINGS (GARAGES AND GARAGE SUITES)

34. Accessory buildings including garages and garage suites must be designed to relate to or complement the townhouses. Accessory buildings must include the same materials and rooflines as principal buildings.

PARKING

35. Parking must be accessed directly from lanes and not visible from any public street, walkway or park.
36. Driveways must be concrete (asphalt not permitted).

Intent: Maintain design consistency on all buildings. Minimize the presence of parking and vehicle-oriented development.

Reference: **C.3** Architectural Design Consistency, **C.12** Paving Materials, **E.1** Vehicle Parking

APPENDIX I

MATERIAL PALETTES
& STRATEGIES

Material and Colour Palettes

The following exterior material palette is included to illustrate possible materials and colours. They are not intended to show the only possibilities, but to communicate an acceptable range. These should be selected and used in ways that reinforce notions described under Colours & Materials.

Brick

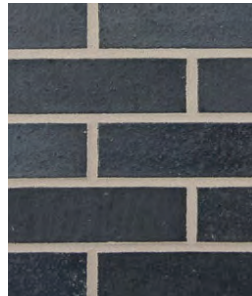
Endicott Medium Ironspot



Endicott Sienna Ironspot



Endicott Manganese Ironspot

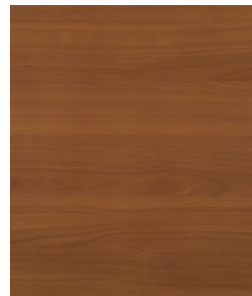


Wood

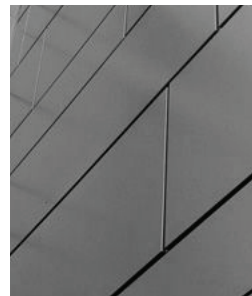
Light Fir



Dark Cherry



Metal Panels



Material and Colour Palettes

Fiber Cement Siding

Hardie Gray Slate



Hardie Rich Espresso



Hardie Cobble Stone



Hardie Evening Blue



EIFS Colours

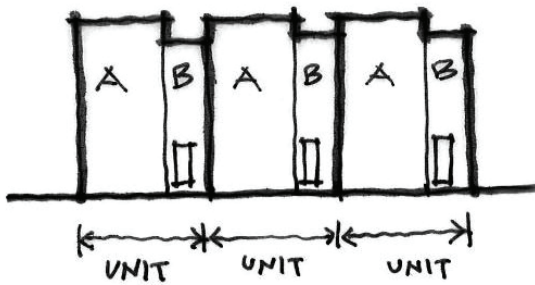


Accent Colours



Material Placement Strategies

STRATEGY A



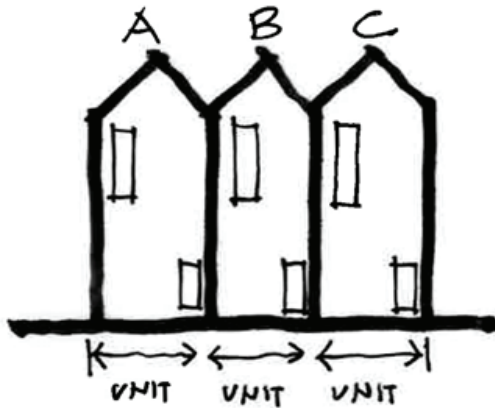
Source: allensnowrealty.com

All units with similar forms and details.

OPTION	MATERIAL A	MATERIAL B	NOTES
1	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Hardie Stucco Brick Architectural Metal Wood Composite 	<ul style="list-style-type: none"> Brick colour to be consistent Choose 1 material and colour for B
2	<ul style="list-style-type: none"> Hardie Panel 	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Hardie and brick colours to be consistent
3	<ul style="list-style-type: none"> Architectural Metal 	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Metal and brick colours to be consistent
4	<ul style="list-style-type: none"> Wood Composite 	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Wood and brick colours to be consistent

Material Placement Strategies

STRATEGY B



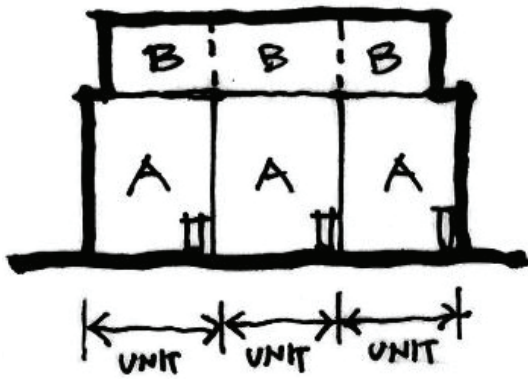
Source: CG Architects

All units with similar gable forms (similar slopes and widths), but may have variations in details.

OPTION	MATERIAL A	MATERIAL B	MATERIAL C	NOTES
1	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Brick colour may vary
2	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Hardie • Architectural Metal Panel • Wood Composite 	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Brick colour must be consistent
3	<ul style="list-style-type: none"> • Brick 	<ul style="list-style-type: none"> • Hardie • Architectural Metal Panel • Wood Composite 	<ul style="list-style-type: none"> • Hardie • Architectural Metal Panel • Wood Composite 	<ul style="list-style-type: none"> • Material B to differ from Material C

Material Placement Strategies

STRATEGY C



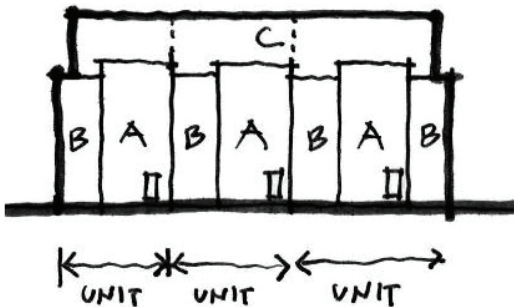
Source: torontolife.com

All units with similar frames and details.

OPTION	MATERIAL A	MATERIAL B	NOTES
1	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Hardie Stucco Brick Architectural Metal Panel Wood Composite Panel 	<ul style="list-style-type: none"> Choose 1 material for B Colours to be consistent
2	<ul style="list-style-type: none"> Architectural Metal with Brick 	<ul style="list-style-type: none"> Hardie Wood Composite Panel 	<ul style="list-style-type: none"> Choose 1 material for B Colours to be consistent
3	<ul style="list-style-type: none"> Wood Composite Panel with Brick 	<ul style="list-style-type: none"> Hardie Architectural Metal Panel 	<ul style="list-style-type: none"> Choose 1 material for B Colours to be consistent

Material Placement Strategies

STRATEGY D



Source: liveatmonogram.com

All units with similar frames and details.

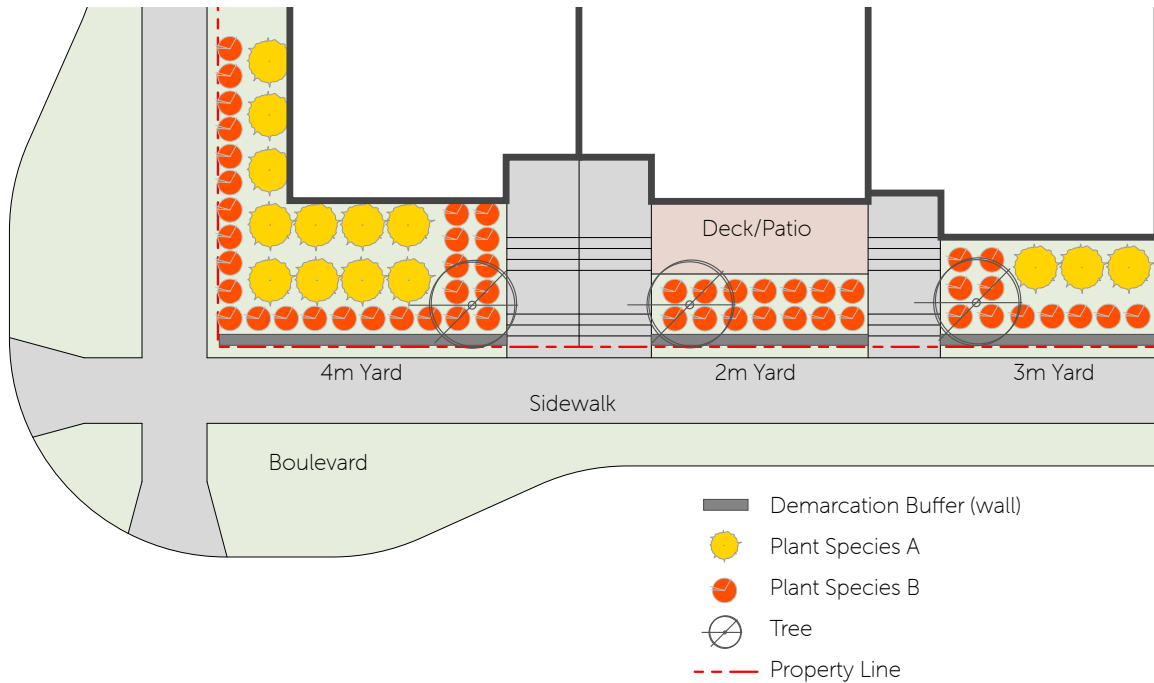
OPTION	MATERIAL A	MATERIAL B	MATERIAL C	NOTES
1	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Brick Hardie Stucco Architectural Metal Panel Wood Composite Panel 	<ul style="list-style-type: none"> Hardie Stucco Architectural Metal Panel Wood Composite Panel 	<ul style="list-style-type: none"> Choose 1 material for A2, with a different material for A3 Colours to be consistent
2	<ul style="list-style-type: none"> Architectural Metal Panel 	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Hardie Wood Composite Panel 	<ul style="list-style-type: none"> Colours to be consistent
3	<ul style="list-style-type: none"> Wood Composite Panel 	<ul style="list-style-type: none"> Brick 	<ul style="list-style-type: none"> Hardie Architectural Metal Panel 	<ul style="list-style-type: none"> Colours to be consistent

APPENDIX II

PLANT LIST & LANDSCAPE
TEMPLATES

Landscape Template A

SOLID DEMARCATION WITH VARIOUS SHRUBS FOR TEXTURE



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Shrub A Species (Back)				
Blue Chip Juniper	X	X		1.5m
Mother Lode Juniper	X	X		1.5m
Calgary Carpet Juniper	X	X		1.5m
Russian Cypress	X	X	X	1.5m
Elephant Ears	X	X	X	0.6m
Shrub B Species (Front)				
Ruby Carousel Barberry	X	X		1m
Gold Mound Spiraea	X	X		1m
Snowberry	X	X	X	1m
Kelsey Dogwood	X	X	X	0.75m

Plant Species Selection

Option 1: Select ONE plant species from each category and use this for all front yard species.

Option 2: Select TWO plant species from each category. Alternate the planting scheme for each front yard space (separated by stairs/walkway). This option is only acceptable if it complements the building massing.

Notes

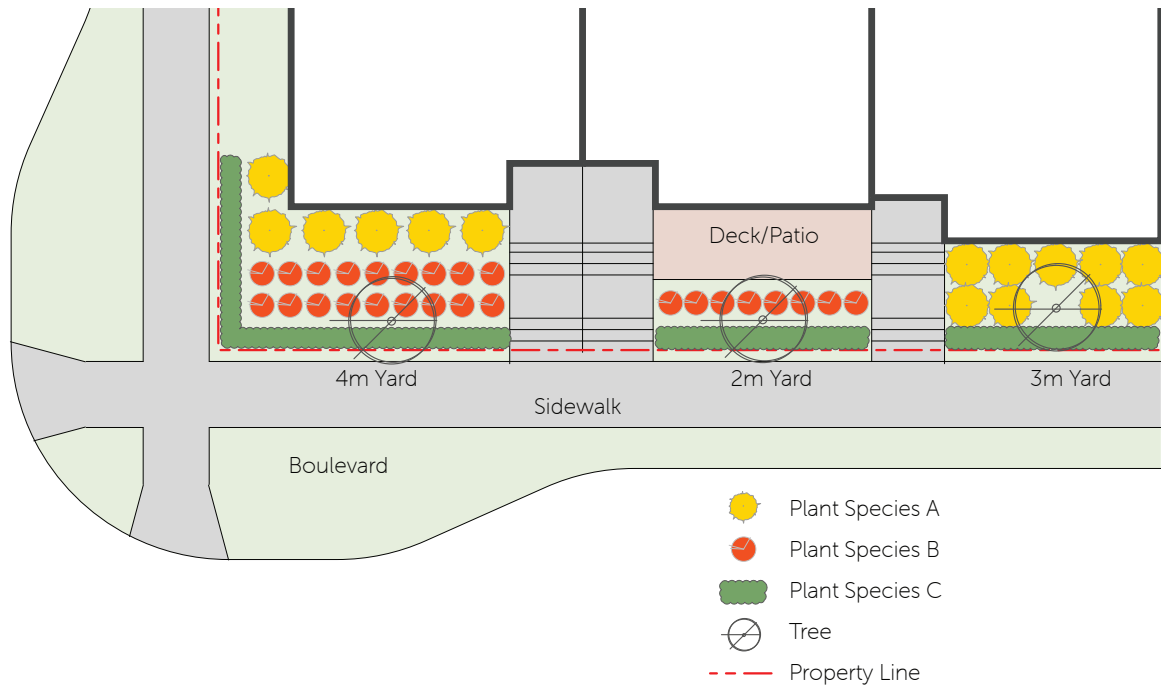
1. Landscape plantings to wrap around and extend beyond building corners at all side yards.

2. Typical layouts are shown for 2m, 3m and 4m-deep yards. Yard depths and plant layouts should generally be consistent for each unit.

3. Decorative fences are to be designed according to the requirements in the architectural guidelines.

Landscape Template B

HEDGES AS DEMARCATION BUFFER WITH VARIOUS SHRUBS FOR TEXTURE



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Shrub A Species (Back)				
Dwarf Korean Lilac	X	X		1.5m
Dwarf Arctic Willow	X	X		1.2m
Ivory Halo Dogwood		X	X	1.5m
Bailey's Cranberry	X	X	X	1.5m
Shrub B Species (Front)				
Ruby Carousel Barberry	X	X		1m
Gold Mound Spiraea	X	X		1m
Snowberry	X	X	X	1m
Kelsey Dogwood	X	X	X	0.75m
Shrub C Species (Hedge)				
Alpine Currant	X	X	X	0.6m
Peking Cotoneaster	X	X		0.6m

Plant Species Selection

Option 1: Select ONE plant species from each category and use this for all front yard species.

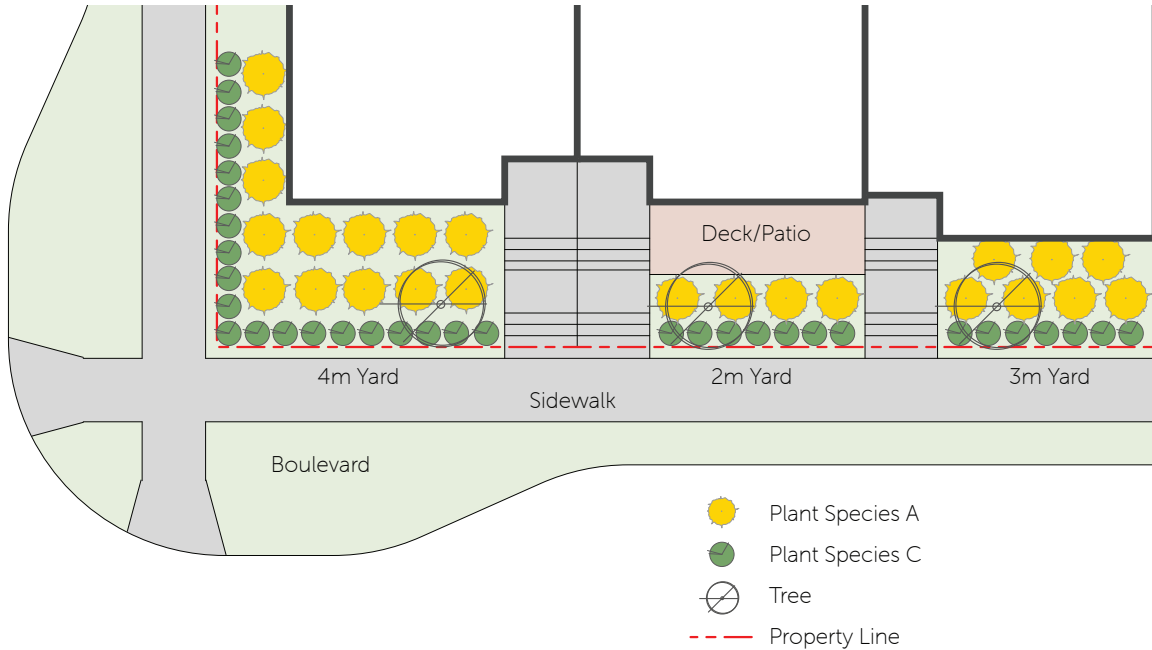
Option 2: Select TWO plant species from each category. Alternate the planting scheme for each front yard space (separated by stairs/walkway). Hedge species must remain consistent for all units. This option is only acceptable if it complements the building massing.

Notes

1. Landscape plantings to wrap around and extend beyond building corners at all side yards.
2. Typical layouts are shown for 2m, 3m and 4m-deep yards. Yard depths and plant layouts should generally be consistent for each unit.
3. Decorative fences are to be designed according to the requirements in the architectural guidelines.

Landscape Template C

GRASSES AS DEMARCATION BUFFER AND PLANT BLOCKING USING SHRUBS



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Perennial/Shrub A Species (Back)				
Blue Chip Juniper	X	X		1.5m
Mother Lode Juniper	X	X		1.5m
Calgary Carpet Juniper	X	X		1.5m
Russian Cypress	X	X	X	1.5m
Elephant Ears	X	X	X	0.6m
Perennial Species C (Front)				
Karl Foerster Grass	X	X		1m

Plant Species Selection

Option 1: Select ONE plant species from each category and use this for all front yard species.

Option 2: Select TWO plant species from each category. Alternate the planting scheme for each front yard space (separated by stairs/walkway). This option is only acceptable if it complements the building massing.

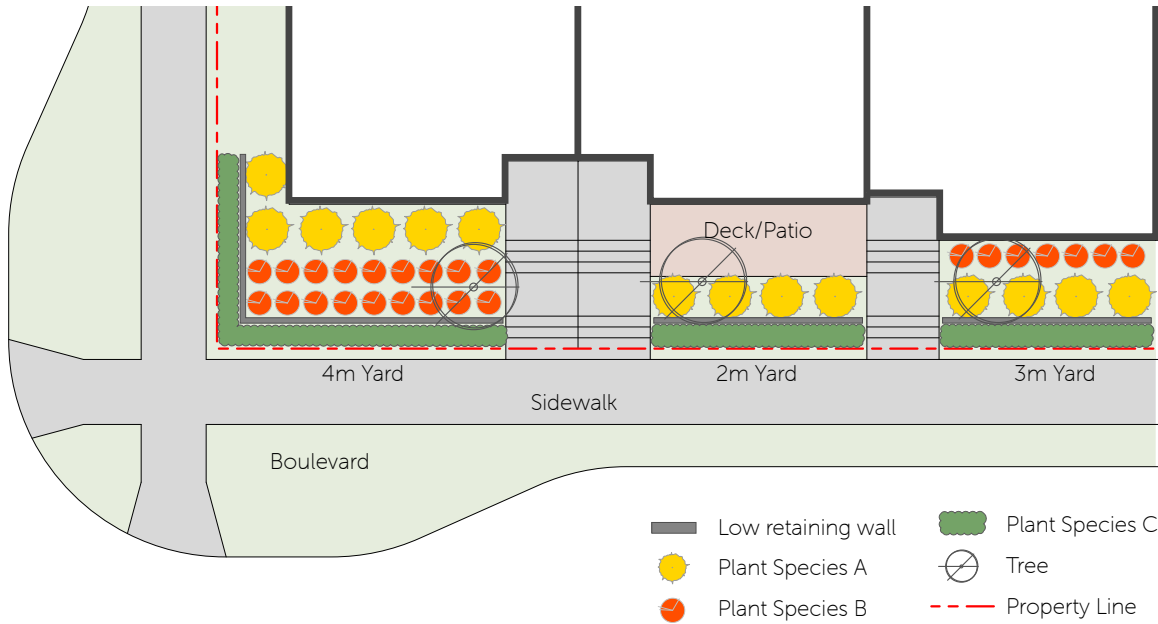
Notes

1. Landscape plantings to wrap around and extend beyond building corners at all side yards.

2. Typical layouts are shown for 2m, 3m and 4m-deep yards. Yard depths and plant layouts should generally be consistent for each unit.

Landscape Template D

RETAINING WALLS INCORPORATING LOW PLANTINGS IN FRONT AND SHRUBS BEHIND



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Shrub A Species (Back)				
Ruby Carousel Barberry	X	X		1m
Gold Mound Spiraea	X	X		1m
Snowberry	X	X	X	1m
Kelsey Dogwood	X	X	X	0.75m
Shrub B Species (Middle)				
Blue Chip Juniper	X	X		1.5m
Russian Cypress	X	X	X	1.5m
Mother Lode Juniper	X	X		1.5m
Calgary Carpet Juniper	X	X		1.5m
Shrub C Species (Front)				
Deschampsia Cespitosa	X	X	X	0.6m
Festuca Glauca	X	X		0.6m
Elephant Ears	X	X	X	0.6m

Plant Species Selection

Option 1: Select ONE plant species from each category and use this for all front yard species.

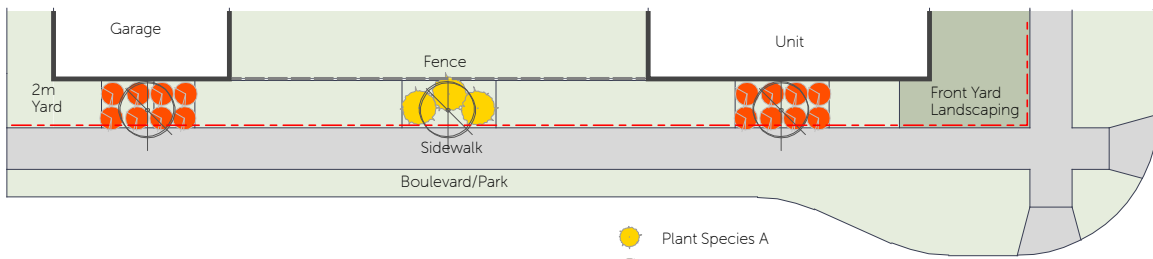
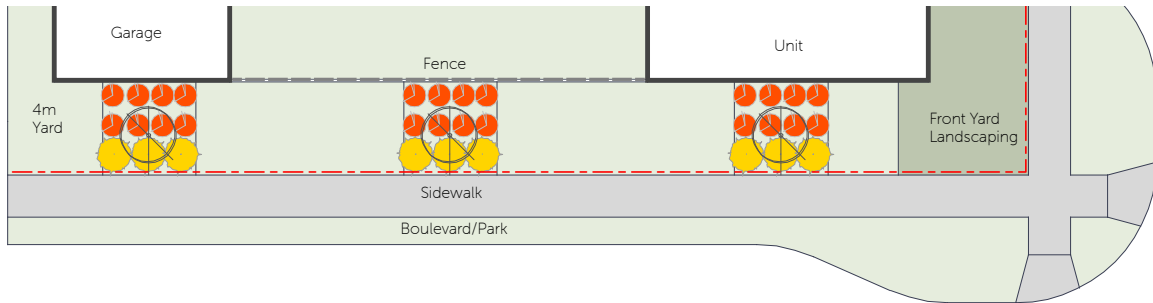
Option 2: Select TWO plant species from each category. Alternate the planting scheme for each front yard space (separated by stairs/walkway). This option is only acceptable if it complements the building massing.

Notes

1. Landscape plantings to wrap around and extend beyond building corners at all side yards.
2. Typical layouts are shown for 2m, 3m and 4m-deep yards. Yard depths and plant layouts should generally be consistent for each unit.
3. Decorative fences are to be designed according to the requirements in the architectural guidelines.

Landscape Template E (Side Yard)

SIDE PLANTINGS WITH FLOWERING TREES AND DECIDUOUS SHRUBS



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Shrub A Species (Back)				
Dwarf Korean Lilac	X	X		1.5m
Dwarf Arctic Willow	X	X		1.2m
Ivory Halo Dogwood		X	X	1.5m
Bailey's Cranberry	X	X	X	1.5m
Shrub B Species (Front)				
Ruby Carousel Barberry	X	X		1m
Gold Mound Spiraea	X	X		1m
Snowberry	X	X	X	1m
Kelsey Dogwood	X	X	X	0.75m

Plant Species Selection

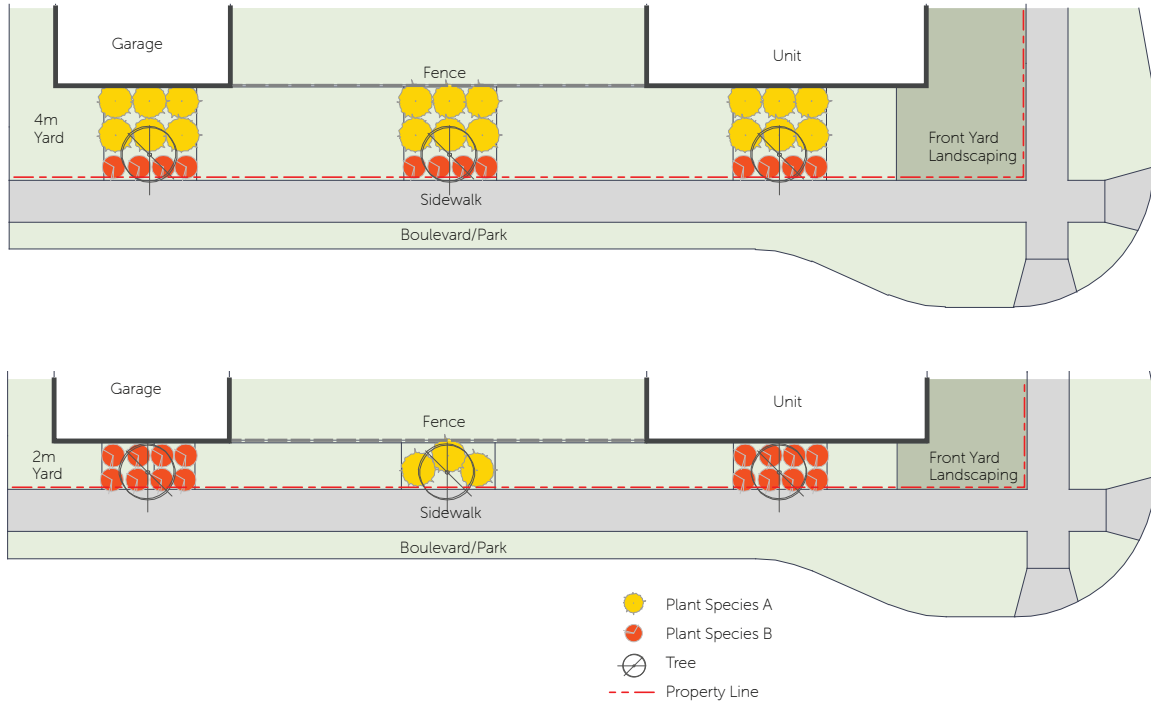
1. Select plant species to match the front yard species.
2. All plants within a planting block must be same species.

Notes

1. Provide a minimum of three planting beds (one at main unit, one adjacent to yard and one adjacent to garage)
2. Spaces between planting beds to be grass. Alternatively, grass may be replaced with a continuous planting bed with additional plants arranged in the same alternating pattern.

Landscape Template F (Side Yard)

SIDE PLANTINGS WITH FLOWERING TREES AND A MIX OF DECIDUOUS AND CONIFER SHRUBS



NAME	SUN	PART SUN/SHADE	SHADE	SPACING
Tree Species				
Ivory Silk Tree Lilac	X	X		3m
Schubert Chokecherry	X	X		5m
Spring Snow Crabapple	X	X		5m
Princess Kay Plum	X	X		3m
Shrub A Species (Front)				
Blue Chip Juniper	X	X		1.5m
Mother Lode Juniper	X	X		1.5m
Calgary Carpet Juniper	X	X		1.5m
Russian Cypress	X	X	X	1.5m
Elephant Ears	X	X	X	0.6m
Shrub B Species (Back)				
Ruby Carousel Barberry	X	X		1m
Gold Mound Spiraea	X	X		1m
Snowberry	X	X	X	1m
Kelsey Dogwood	X	X	X	0.75m
Karl Foerster Grass	X	X		1m





Plant Species Selection

1. Select plant species to match the front yard species.
2. All plants within a planting block must be same species





Notes

1. Provide a minimum of three planting beds (one at main unit, one adjacent to yard and one adjacent to garage)
2. Spaces between planting beds to be grass. Alternatively, grass may be replaced with a continuous planting bed with additional plants arranged in the same alternating pattern.

Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Coniferous Trees												
Juniper 'Wichita Blue'	Juniperus scopulorum 'Wichita Blue'	4m	5m	1.5m	X	X		X			X	
Columnar Blue Spruce	Picea pungens 'Fastigiata'	7m	2m	2m	X	X		X				
Deciduous Trees												
Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	6m	3m	3m	X	X						
Flowering Crabapples (non-columnar forms)	Malus cultivars	5m	5m	5m	X	X						

Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Deciduous Trees												
Schubert Chokecherry	Prunus virginiana 'Schubert'	7m	5m	5m	X	X						
Mayday	Prunus padus var. commuta	6m	6m	6m	X	X						
Hawthorn 'Toba' or 'Snowbird'	Crataegus x modernsis 'Toba' Crataegus x modernsis 'Snowbird'	6m	3m	3m	X	X		X				
Plum 'Princess Kay' or 'Muckle Plum'	Prunus nigra 'Princess Kay' Prunus x nigrella 'Muckle'	4m	3m	3m	X	X						




Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Shrubs												
Cotoneaster, Peking	Cotoneaster acutifolia var. 'lucidus'	2.4m	1.5m	1.5m (0.6m for hedge)	X	X		X	X		X	
Alpine Currant	Ribes alpinum	1.5m	1.5m	1.5m (0.6m for hedge)	X	X	X				X	
Lilac, Dwarf Korean	Syringa meyeri 'Palibin'	1.25m	1.5m	1.5m (1m for hedge)	X	X					X	
Dwarf Arctic Willow	Salix purpurea 'Gracilis'	1.2m	1.2m	1.2m (1m for hedge)	X	X		X	X	X	X	
Dogwood 'Ivory Halo'	Cornus alba 'Ivory Halo'	1.5m	1.5m	1.5m	X	X		X	X	X	X	

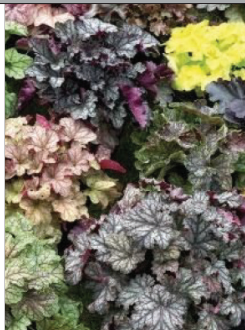




Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Shrubs												
Dogwood 'Kelsey'	Cornus sericea 'Kelsey'	0.75m	0.75m	0.75m	X	X		X	X	X	X	
Snowberry	Symphoricarpos albus	0.75m	1m	1m	X	X	X	X	X	X		
Spiraea 'Tor'	Spiraea betulifolia 'Tor'	0.8m	0.8m	0.8m	X	X						
Spiraea 'Goldmound'	Spiraea japonica 'Goldmound'	0.75m	1m	1m	X	X						
Barberry 'Ruby Carousel'	Berberis thunbergii 'Bailone'	1.25m	1.25m	1m	X	X		X			X	


Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Shrubs												
Juniper 'Blue Chip'	Juniperus horizontalis 'Blue Chip'	0.3m	2m	1.5m	X	X		X				
Juniper 'Gold Coast'	Juniperus x media 'Gold Coast'	0.75m	1.5m	1.5m	X	X		X				
Juniper 'Mother Lode'	Juniperus horizontalis 'Mother Lode'	0.2m	1.5m	1.5m	X	X		X				
Juniper, 'Calgary Carpet'	Juniperus sabina 'Calgary Carpet'	0.3m	1.5m	1.5m	X	X		X				
Microbiota decussata	Russian Cypress	0.5m	1.5m	1.5m	X	X	X					

Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Perennials												
Coral Bells/Alumroot	Heuchera (various cultivars)	0.3m	0.3m	0.3m		X	X		X	X		
Purple Coneflower	Echinacea purpurea	0.6m	0.6m	0.6m	X	X		X	X	X		
Tufted Hairgrass	Dechampsia cespitosa	0.5m	0.5m	0.5m	X	X		X	X	X		
Blue Fescue	Festuca glauca	0.3m	0.3m	0.3m	X	X		X		X		
Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1.5m	1m	1m	X	X		X				

Blatchford Plant Palette

COMMON NAME	BOTANICAL NAME	MATURE HEIGHT	MATURE WIDTH	SPACING	FULL SUN	PARTIAL SHADE	FULL SHADE	DROUGHT RESISTANT	FLOOD RESISTANT	LID POTENTIAL	HEDGE POTENTIAL	
Perennials												
Blue Oat Grass	Helictotrichon sempervirens	1m	0.6m	0.6m	X			X				
Daylily	Hemerocallis cultivars	Varies (0.3-0.6m)	Varies (0.3-0.6m)	Same as width	X	X		X	X	X		
Siberian Iris	Iris sibirica	0.6m	0.6m	0.6m	X	X		X	X	X		
Elephant Ears	Bergenia cordifolia	0.2m	0.6m	0.6m	X	X	X	X				

APPENDIX III

SUBMISSION CHECKLISTS

Concept Design Checklist

The purpose of the Concept Design review is to confirm that the overall design intent is being met. All feedback will be documented in an ongoing comment log. Subsequent reviews will track the resolution of items.

DOCUMENT	REQUIREMENTS
Design Intent Statement or Series of precedent images (minimum of 3) showing a similar approach of the intended design direction	<input type="checkbox"/> Design Intent Statement or <input type="checkbox"/> Images of precedent images or <input type="checkbox"/> Both <input type="checkbox"/> Building precedent images or design intent statement incorporates urban and contemporary design principles
Preliminary Elevations	<input type="checkbox"/> Building massing reflects the intent of the Blatchford West Architectural and Urban Design Guidelines or Checklist for Townhouse Developments <ul style="list-style-type: none"> • Townhouses are individually identifiable • Roofs emphasize individual units • Townhouse massing is repeated • Building components serve a functional purpose • Accessory buildings relate to or complement the principal buildings (including rooflines and materials) <input type="checkbox"/> Exterior materials identified <input type="checkbox"/> Townhouse main floor entries are elevated above grade
Site Plan	<input type="checkbox"/> Basic site plan showing overall building footprint, parking areas, and ground- level access from units to public walkways or lanes
<input type="checkbox"/> A review of the design requirements have been completed with BRO/Architectural Reviewer	

Preliminary Design Checklist

The Preliminary Design package should elaborate on the Concept Design package. The review process in this stage may be iterative. All feedback will be documented in the comment log.

DOCUMENT	REQUIREMENTS
Design Intent Statement or Precedent Images	<ul style="list-style-type: none"> <input type="checkbox"/> Design intent has been reviewed by BRO and approved in principle
Site Plans	<ul style="list-style-type: none"> <input type="checkbox"/> Entire site in context with adjacent streets, walkways and parks <input type="checkbox"/> Building footprint(s) including detached garages and lane suites <input type="checkbox"/> Open spaces and descriptions of uses, including yards and amenity spaces <input type="checkbox"/> Walkways, driveways and any other paved areas with paving materials noted <ul style="list-style-type: none"> • Main entries have individual sidewalk connections to adjacent public sidewalks • All units have a sidewalk connection to a garage • Parking is accessed directly from a lane and not visible from public streets or walkways. Driveways must be concrete (asphalt is not permitted) <input type="checkbox"/> Location of low impact design features <input type="checkbox"/> Fencing, walls and/or landscape buffers, including gates <input type="checkbox"/> Service/equipment areas and screening <input type="checkbox"/> Dimensions of major components including setbacks, overall building lengths and depths, garages, and larger open space areas
Elevations	<ul style="list-style-type: none"> <input type="checkbox"/> Front, side and rear elevations for all principle buildings <input type="checkbox"/> Front, side and rear elevations for all accessory buildings (including garages and garage suites/secondary suites) <p>Elevations to show/include:</p> <ul style="list-style-type: none"> • Windows, doors, projections, penetrations or design elements like canopies or screens • Canopies, gutters and downspouts • Exterior lighting locations shown on all elevations • Dimensions of total building height, floor-to-floor heights and preliminary finished floor-to-grade height • Exterior stairs, railings and significant design elements (i.e. window screens, dividers, etc.) • Side elevations facing streets have the same overall appearance as front elevations • Rear elevations have the same overall appearance as the front elevations • Materials selected are permitted materials only <ul style="list-style-type: none"> <input type="checkbox"/> Calculation showing percentage of windows, doors and each material applied. Calculation included on all elevation drawings. Refer to items 7 and 11 for minimums <input type="checkbox"/> Cut sheets of proposed building numbers or any proposed signage <input type="checkbox"/> Cut sheets of exterior lighting fixtures <input type="checkbox"/> Cut sheets of proposed main entry doors <input type="checkbox"/> Materials board of selected exterior finishes (images of completed materials board may be acceptable)

Preliminary Design Checklist

DOCUMENT	REQUIREMENTS
General	<input type="checkbox"/> Scale bars and north arrow are included on all relevant drawings <input type="checkbox"/> All drawings include the builder's name, drawing name and date
Floor Plans	<input type="checkbox"/> Floor plans of all floors showing interior layouts, and exterior balconies, landings, patios or other amenity areas <input type="checkbox"/> A minimum of one useable amenity area is included for each unit
Roof Plans	<input type="checkbox"/> Roof plan showing overall dimensions, slopes and overhangs <ul style="list-style-type: none"> • Roofs are flat or gabled, or • Shed roofs with solar panels • Plan Includes canopies, gutters, downspout locations • Rooftop amenity spaces and balconies are shown • Roof slopes, where applicable, are consistent
Landscape Plans	<input type="checkbox"/> Landscape plan showing design and plantings as required by the City of Edmonton Bylaws <ul style="list-style-type: none"> • Exterior paving, concrete, permeable materials are noted on the landscape plan • Planting schedule included on the landscape plan • Details of hedges, fences or walls to be used between buildings and sidewalks, or between units are included and consistent with overall building style • Landscaping suitable for horticultural zone 3a in all setbacks facing public streets, walkways, parks, or between driveways <input type="checkbox"/> Demarcation and screening fences or walls are provided
Renderings	<input type="checkbox"/> A rendering or renderings showing building perspectives have been submitted

Final Design Checklist

The Final Design must meet all design criteria outlined in this document or meet the intent of the Guidelines to the satisfaction of the Blatchford Redevelopment Office.

A completed comment log and approval letter will be provided once the Final Design has been approved. This documentation will be referenced during Final Inspection to confirm compliance with the approved design.

DOCUMENT	REQUIREMENTS
General	<input type="checkbox"/> Scale bars and north arrow are included on all relevant drawings <input type="checkbox"/> All drawings include the builder's name, drawing name and date
Site Plans	<input type="checkbox"/> Final Site Plan(s) addressing all previous review comments (min scale 1:250)
Elevations	<input type="checkbox"/> Final elevations addressing all previous review comments <input type="checkbox"/> Updated material, glazing and door % calculations <input type="checkbox"/> Cut sheet of proposed exterior light fixtures <input type="checkbox"/> Cut sheet of proposed building numbers <input type="checkbox"/> Cut sheet of selected main entrance doors (min scale 1:100)
Floor Plans	<input type="checkbox"/> Final floor plans showing all floor layouts addressing all comments (min scale 1:100)
Roof Plans	<input type="checkbox"/> Final roof plans showing slopes, protrusions, drains or other mechanical penetrations and locations including eavestroughs for pitched roofs or <input type="checkbox"/> Final roof plans showing rooftop amenity and roof finishes and materials (min scale 1:100)
Landscape Plans	<input type="checkbox"/> Final landscape plans with landscaping, soft groundcover, hardscaped material and finishes (min scale 1:100) <input type="checkbox"/> Details of fencing, gates, or walls used as buffers between private outdoor spaces and between buildings and sidewalks (min. scale 1:20)
Details	<input type="checkbox"/> Details as required including: <ul style="list-style-type: none"> • Eaves, windows • Paving, lighting, signage • Entrance condition if unclear from elevations • Canopies • Railings, fences, screens or other site features • Ornamentation • Details highlighting building character (min scale 1:20)
Renderings	<input type="checkbox"/> A rendering or renderings showing building perspectives with incorporated revisions



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