



# Goodridge Corners

ARCHITECTURAL + SUSTAINABILITY GUIDELINES

STAGE 3

VERSION 1.0  
APRIL 2025



Edmonton

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# 1.0 introduction

## 1.1 Vision

Goodridge Corners is a new mixed-use community in northwest Edmonton, near the shared municipal boundaries of Edmonton, St. Albert and Sturgeon County. As a modern community, Goodridge Corners blends features of traditional town planning with current best practices in liveable, sustainable and affordable design and development.

As a place to live, the community offers a diverse array of recreational and commercial amenities while providing housing options for various household sizes, age groups, and income levels. As a walkable community, each Goodridge Corners neighbourhood highlights the significance of the pedestrian experience by incorporating a blend of well-appointed, detail-oriented housing types, prominent natural features, tree-lined streets, and local parks and playgrounds.

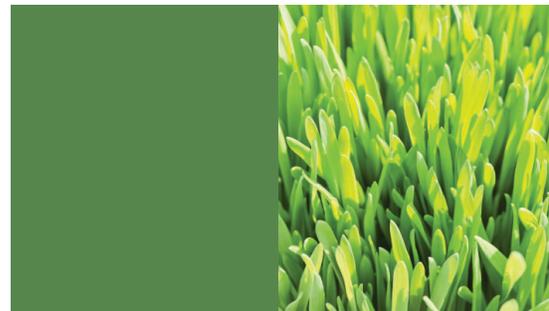
The integrated mix of sound, sustainable development, and unique, timeless architecture will give Goodridge Corners a distinct identity and sense of place valued by residents, business owners, and visitors.

## 1.2 Environmental Commitment

At Goodridge Corners, sustainable development and design are essential to the community's values and principles.

In alignment with the Community Energy Transition Strategy, the Developer is committed to sustainable development at both the community and individual building levels and expects individual developers and builders to approach their projects with environmentally sound planning and design solutions.

Collaborating with builders, designers, and lot owners, Goodridge Corners creates opportunities for innovation in energy efficiency and sustainable growth. Goodridge Corners (Stage 3) promotes energy-efficient building practices and environmentally responsible home construction utilizing third-party sustainable certification programs such as the Natural Resources Canada ("NRCan") EnerGuide program and BUILT GREEN®. Additionally, all residential development in Goodridge Corners (Stage 3) must adhere to the NRCan Solar Ready Guidelines or the Canadian Solar Industries Association (CanSIA) Guidelines.



### 1.3 Architectural Style

Drawing inspiration from the traditional regional architecture and the landscapes of the Western Canadian prairie homestead, Goodridge Corners is a community founded on the values, character, and culture that reflect its geographic context. Permitted architectural styles originate from the traditions of buildings developed over time and demonstrate a thoughtful response to both climate and topography. Simple massing and proportions honor the time-tested housing types of “Farmhouse,” “Folk,” and “Craftsman.” These varied yet cohesive architectural styles illustrate the region’s historical development while creating a picturesque streetscape and a charming character reminiscent of a simpler time.

All house designs for Goodridge Corners shall comprise contemporary interpretations of the Farmhouse, Gabled, and Craftsman architectural styles. They shall draw influence and inspiration from these styles while showcasing the integral characteristics that have made them significant and desirable over many generations.

Sections 5-7 of this document provide a set of detailed Architectural and Landscape Architectural Guidelines that outline a series of General Requirements applicable to the design of EVERY new home.



## 2.0 design guidelines: general information

To ensure a cohesive development, the Developer has established the Goodridge Corners Architectural and Sustainability Guidelines to establish a minimum level of design and aesthetic quality for all residential developments within the community. These Design Guidelines will protect the integrity of the development, provide flexible and sustainable options, and aid in the maintenance of property values and neighbourhood aesthetics.

These residential Design Guidelines provide Builders / Lot Owners and their design professionals with a clear statement of the design principles and design criteria for the community. The Design Guidelines also provide important details and options ensuring that structures are built with attention to energy efficiency, sustainability and environmentally responsible building practices.

After reviewing this document, the applicant will have a clear and concise design direction and the knowledge necessary to produce aesthetic, creative, innovative, and sustainable architectural and landscape concepts. These Design Guidelines intend to encourage creative individual architectural and landscape statements that contribute to an equally outstanding community when viewed as a whole.

All requirements are subject to review by the Design Review Consultant and remain at the sole and absolute discretion of the Developer.

**If there is any conflict or disagreement between these Guidelines and the Sales Agreement, the Sales Agreement will take precedence.**

### 2.1 Builder / Lot Owner Responsibilities

For the purpose of these Design Guidelines, the “Builder / Lot Owner” shall be the registered owner of the building lot for which an application for design approval is being sought or has been obtained.

The Builder / Lot Owner is responsible for fully complying with the Design Guidelines. In addition, All Builder / Lot Owners will be required to demonstrate their level of compliance with the appropriate third-party certification programs as part of their application from schematic design through construction completion. In addition to these Design Guidelines, the construction of all developments must fully comply with the most current edition of the Alberta Building Code and the Municipality’s Zoning Bylaw. The Goodridge Corners Residential Design Guideline document may be more restrictive than, but does not supersede or modify any existing Municipal, Provincial, or National bylaws, codes, or requirements. In the event of conflict or discrepancy, or for subjects not addressed herein, the appropriate jurisdictional regulations and codes shall take precedence, and the most restrictive standards shall apply.

**Note:** All proposed new construction and front yard landscaping must be submitted to the Design Review Consultant for review before the commencement of any construction / improvements.

## 2.2 Design Review Consultant

The design approval process is intended to be a collaborative effort between the Lot Owners, their Consultants and the Design Review Consultant (DRC). The DRC will work with the Owners as a member of their team to ensure that proposed designs meet the Owner's desires and respect the objectives of the Design Guidelines.

The Developer has appointed Windward Landtec Inc. as the Design Review Consultant (DRC), who will be solely responsible for handling all development applications and inquiries related to Goodridge Corners. The Developer and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed application. It is strongly recommended that all Builders / Lot Owners obtain pre-approval for any proposed development.

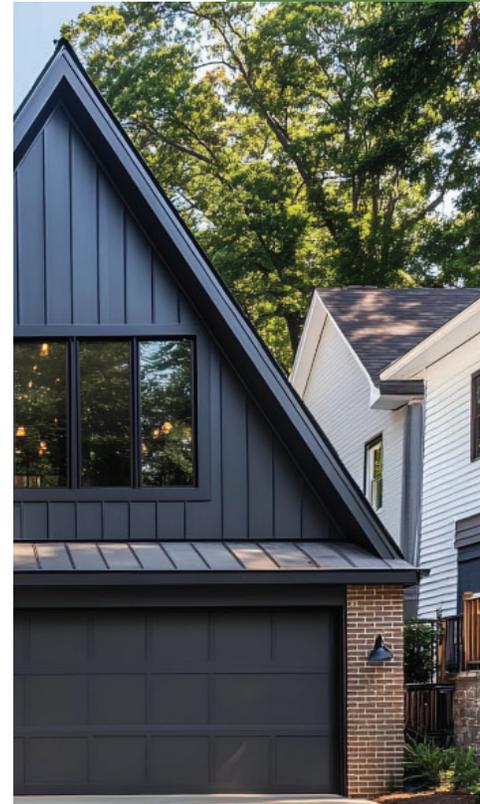
Copies of all required submittal package materials, including correspondence and inquiries, may be sent either electronically or by mail to:

### Windward Landtec Inc.

Attn: Mr. Ray Jacobson  
12128 - 121A Street  
Edmonton AB. T5L 0A4  
[www.windwardlandtec.com](http://www.windwardlandtec.com)

e: [info@windwardlandtec.com](mailto:info@windwardlandtec.com)

The Design Review Consultant will endeavour to respond to all inquiries within three (3) business days. This does not guarantee a full approval will be granted within this time.



## 2.3 Amendments + Supplements to the Guidelines

These Design Guidelines are a progressive document that will continue to evolve as the community develops. The Developer has the right to amend, modify, or supplement the Design Guidelines for future stages at its sole and absolute discretion and without prior notice.

Each Builder / Lot Owner is responsible for obtaining a copy of the most current edition of the Design Guidelines.

## 2.4 Variances

The DRC, from time to time, may grant variances from the requirements of these Design Guidelines. No variance shall be considered approved unless the variance has been specifically identified, the variance has been requested in writing by the Builder / Lot Owner, and the variance is approved in writing by the DRC.

Although the DRC will make every effort to identify variations to the Guidelines, it remains the Applicant's responsibility to identify and obtain approval when the Guidelines are not followed. It is recommended that Applicants considering a variance consult with the DRC early in the process to ensure the design envisioned will be considered.

Any variance granted shall be considered unique and shall not set any precedent for further approval determinations. The ability to provide a variance does not obligate the DRC or the Developer to do so.

As per Section 3.7, all processed variance requests are subject to a Variance Fee.

## 2.5 Municipal Standards

Prior to engaging in the design process, Builders / Lot Owners shall review all relevant utility plans, right-of-way documents, engineered fill letter and geotechnical reports as well as the following plans from the Goodridge Corners engineering drawings: Lot Grading Plan, Lot Grading Details, Overall Landscaping Plan, Street Furniture Plan, Fencing Details and Entrance Feature Details. All documents are available on The Goodridge Corners website.

[www.edmonton.ca/goodridgecornerslandsales](http://www.edmonton.ca/goodridgecornerslandsales)



## 3.0 design approval process

The design approval process has been developed to ensure that all residential developments within Goodridge Corners adhere to the Design Guidelines. The entire design approval process must be completed by all Builders / Lot Owners prior to applying for a Building Permit or conducting any above or below-ground improvements to their lot(s).

To ensure that the design approval process proceeds in an orderly fashion, it is recommended that the Applicant adheres to the review process outlined.

### 3.1 Pre-Existing Lot Damage Report

Prior to engaging in the design approval process, the Builder / Lot Owner shall inspect the lot and all adjacent infrastructure (sidewalk, curb and gutter, site furnishings, above-ground utilities, adjacent property, public and private landscaping, etc.) and complete a Pre-Existing Lot Damage Report (**APPENDIX D**). Reports shall note and document all pre-existing site damages. Failure to submit a Damage Report will be taken by the Developer to mean that no pre-existing (pre-construction) damages or issues exist.

**The Pre-Existing Lot Damage Statement (APPENDIX D) is due to the DRC and Developer within 10 business days of the closing date.**

### 3.2 Preliminary Design Review

It is recommended that the Applicant submit preliminary information as early in the process as possible. This process will ensure that the proposed design(s) are in conformance with the Design Guidelines prior to completion of a full set of construction / Building Permit drawings.

Submissions for the Preliminary Design Review / Registration must include the Preliminary Design Review Registration Form (**APPENDIX A**).

### 3.3 Design Approval

An application for design approval (house design and landscaping) **MUST** be submitted to the DRC.

Submissions for Design Approval must include all the requirements outlined in Section 3.8 and **APPENDIX C** (Submission Requirements).

The DRC will prepare a written review of the design approval submission. Based on adherence to the Design Guidelines, the DRC will issue either a notice of approval, modification, or complete resubmission of the application.

**RESUBMISSION** - The requirement for Resubmission will be issued to the Applicant in circumstances where the proposed design contains several conditions that do not align with either the requirements of the Design Guidelines or the intent of the Design Guidelines. In such cases, the Applicant will be required to resubmit the application along with additional design review fees assessed under Section 3.7. The DRC will prepare a written review of the design resubmission and issue a requirement for resubmission, modification, or approval.

**MODIFICATION** - The requirement for Modification will be returned to the Applicant in circumstances where the proposed design generally meets the requirements of the Design Guidelines but requires minor modifications to be fully compliant. Applicants are required to submit all revised materials to the DRC, following which the DRC will prepare a written review of the design modifications and issue a requirement for resubmission, modification, or approval.

**APPROVAL** - A recommendation for Approval will be granted for applications that meet the requirements of the Design Guidelines and will require no further review. A recommendation of Approval will outline certain conditions of approval for the proposed construction or improvement and will be issued to the Applicant and the Developer.

Should disputes arise, the Developer will make the final decision on the acceptability of an application. After approval, the application (designs / material specifications) may not be altered without prior written approval.

Foundation stakeout will not be granted until design approval has been issued.

### 3.4 Revisions to Approved Applications

Any proposed changes or revisions to applications that have received prior approval shall require written authorization by the DRC prior to construction.

Revisions are to be submitted as follows:

- Letter describing the requested revision(s);
- All drawings required to accurately convey the intent of the revisions; and
- Applicable design review fees (as per Section 3.7).

### 3.5 Building Permit Application

The Applicant is not permitted to apply to the Municipality for a Building Permit until they have received the DRC's written design approval in accordance with Section 3.3.

### 3.6 Construction Observation

The DRC may make periodic in-progress observations of construction to ensure compliance with the Goodridge Corners Design Guidelines and the approved plans and specifications. The DRC may request a stop to all construction activities if it appears that construction is not in compliance with either the Design Guidelines or the approved plans.

Periodic reviews by the DRC are not intended as an inspection process. A final as-built review by the DRC will only be performed following Sections 5 and 6 of the Sale Agreement between the Builder / Lot Owner and the Developer. The applicant is required to submit a completed **APPENDIX E** to initiate the final as-built review process for both house and landscape.

### 3.7 Design Review Fees

Fees for any additional services will be charged directly to the Builder / Lot Owner by the DRC (*Windward Landtec*) as follows:

- Additional Fee for Preliminary Design Review(s): **\$150.00**
- Additional Design Review(s): **\$150.00**/hour (to a maximum of **\$700.00** for a complete re-approval)
- Additional Final Review: Architectural / Landscape Site Inspection(s): **\$250.00**/visit
- Variance Fee: **\$100.00** (to a maximum of \$200.00)
- Disbursements at cost.

All additional review fees are subject to GST.

### 3.8 Design Approval Submission Requirements

All application packages submitted for final design approval shall include all of the required information as noted in **APPENDIX C**. All required drawings shall be prepared to a level suitable for a Building Permit application to the satisfaction of the Municipality and must be drawn to scale, fully annotated, and clear and legible.

**All drawings and required documentation shall be submitted electronically in PDF format.**

Initial applications, resubmissions, and requests for modifications are to be submitted as complete sets only (drawings and application forms), even if revisions are made to a single drawing. Incomplete submissions will not be reviewed and may be returned as incomplete.

## 4.0 sustainable certification

Whether the term used is green building, sustainable design, or high-performance buildings, they all refer to the planning, design, construction, and maintenance of buildings that are energy-efficient and environmentally friendly. Energy-efficient houses provide significant benefits, including reduced energy demand, utility costs, and pollution, as well as enhanced human comfort, health, durability, quality, and control. One way to achieve energy efficiency in new construction is to follow one or more sustainable certification programs.

### 4.1 Sustainability Certification

All Builders / Lot Owners at Goodridge Corners are required to fulfill the following requirements:

- A. Retain a Certified Energy Advisor and register their contact information within **APPENDIX B**.
- B. Comply with all requirements of the Natural Resources Canada (“NRCan”) EnerGuide program including all applications and registrations as required and ensure that the Development is constructed per the NRCan EnerGuide Rating System version 15, achieving an EnerGuide rating of at least 30% lower than “a typical new home” or the “benchmark home” on the Development’s EnerGuide label. And, upon completion of construction, provide an EnerGuide label confirming that the Development has been constructed per this subsection.
- C. The Builder / Lot Owner shall be a Built Green Member and shall achieve the minimum of a Built Green® **Platinum** rating. And, upon completion of construction, provide a Built Green® Canada label confirming that the Development has been constructed per this subsection.

Collectively, the requirements of this Section are referred to as the “Sustainable Certification”.



# 5.0 design guidelines: site + streetscape

## 5.1 Site Planning

### 5.1.1 Land Use + City Zoning Regulations

All homes in Goodridge Corners will be subject to the City of Edmonton zoning requirements.

Goodridge Corners (Stage 3) offers **RSF**—Small Scale Flex Residential Zone lots with options for both front-drive (street) and rear-drive (alley) access. The residential lots have been designed and arranged to accommodate a range of home sizes and types while providing variation to the streetscape.

### 5.1.2 Plot Plans

The preparation of plot plans and stakeout must be prepared by an Alberta Land Surveyor (A.L.S.) and include the information required as per **APPENDIX C**.

### 5.1.3 Building Siting + Width

As a critical first step in the site planning process, the design, siting and orientation of a house within the boundaries of the lot should consider:

- Limiting site disturbance by designing with topography where possible.
- Avoiding overshadowing, overlooking, and privacy issues to and from adjacent developments.
- Optimizing passive solar heating and daylighting.
- Maximizing renewable energy by incorporating photovoltaics in the structure or providing opportunities for future installation.
- Front and side yard setback dimensions and adjusting building articulation to maximize landscape area and features.
- Managing stormwater run-off through site grading and landscape design.

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the lot width and adjacent houses. All proposed designs will be reviewed on their own merits of design and compatibility.

#### Single Family - Front Drive Garage

The minimum house width shall be 24'-0" and be within 2'-0" of the recommended building pocket. The maximum garage offset permitted is 2'-0".

#### Single Family - Rear Lane Garage

The minimum house width shall be 18'-0" and be within 2'-0" of the recommended building pocket.

#### Semi-Detached - Front Drive Garage

The minimum house width must be maximized to the building pocket.

#### Row Housing - Rear Lane Access

The minimum house width must be maximized to the building pocket.

### 5.1.4 Lot Grading + Site Drainage + Retaining Walls

Lot grading must adhere to the latest approved Goodridge Corners Lot Grading Plan (found on The Goodridge Corners (Stage 3) website / [www.edmonton.ca/goodridgecornerslandsales](http://www.edmonton.ca/goodridgecornerslandsales)), not to adjacent lots or unfinished lanes. The Builder / Lot Owner is responsible for meeting the required grade elevations and ensuring drainage patterns are maintained within the property lines to the satisfaction of the Municipality.

The costs of obtaining proper grading and drainage and the use of retaining walls are the sole responsibility of the Builder / Lot Owner. All proposed developments shall be designed to suit the natural slope of the lot and avoid unnecessary retaining walls. Attempts to artificially elevate the finished grade of a lot through extensive regrading to either raise the main floor level of any structure or to create a flat site within the existing topography will not be allowed.

All sites shall be designed to minimize and direct stormwater runoff away from foundations and avoid cross-lot drainage. Runoff from impervious surfaces, such as roofs, driveways, and pavement areas, shall be contained on site and directed into natural drainage swales (can be shared between lots) or dispersed into shallow sloping vegetated areas (bioswales / rain gardens) within the proposed landscape (Refer to Section 7.0 Landscape Guidelines, for further information).

Drainage swales, bioswales, rain gardens and retaining walls, where required, shall appear natural, blend with the site's natural character, follow the natural contours of the lot, and adhere to the overall approved site grading and drainage plans. Drainage swales and retaining walls that have been installed by the Developer shall not be altered in any way.

## 5.2 Streetscape

Care must be taken to integrate the home with special attention to the relationship with neighbouring properties. Relative massing, siting and style will be of utmost importance in ensuring each home compliments its neighbour and the surrounding development. Building massing, siting, and style may be adjusted and/or alternate treatments requested by the DRC to reinforce the streetscape.

### 5.2.1 Building Form, Mass + Scale

The overall massing and detail of front elevations are important aspects of the house design and should provide a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately and logically to the width of the lot and neighbouring homes.

All designs are required to have depth, physical articulation, and a variety of roof lines that create interest and varied shadow lines.

### 5.2.2 Building Heights

The maximum building height is to be in conformance with the Municipality's Zoning Bylaw.

### 5.2.3 House Elevation

No home shall have more than 4 risers at the front elevation. If more than 4 risers are required, the run must be split. Any variance will be at the sole discretion of the DRC.

## 5.2.4 Repetition + Identical Elevations

To ensure that the community maintains a high standard of visual quality, interest, and individuality, identical or similar house designs proposed adjacent to each other will not be permitted. A minimum of three (3) lots on either side and a minimum of two (2) lots each way across the street is required.

For lots designated as “high visibility”, repetition modifications must be addressed on all applicable sides (i.e. rear and corner-flanking side).

A single model or design of a house can occupy no more than 30% of any one side of a streetscape (length of block or cul-de-sac). Example: Within the length of a 12-lot block or cul-de-sac, a single style or model of house could only occur 4 times.

Final acceptance and approval are at the sole discretion of the DRC.

## 5.2.5 High Visibility + Prominent Lots

### 5.2.5.1 Corner Lots

Designs for corner lots with high-visibility rear and side elevations must be designed with proportions consistent with those found on the front elevation. These elevations shall avoid large expanses of blank walls by providing physical articulation (projections and offsets) of the wall plane and include wall openings of appropriate number and size. Likewise, the quality and level of finishing presented on front elevations is also required on all high-visibility side and rear elevations (i.e. fully detailed windows and trim, shadow bands, stone accents, box-outs, dormers, columns and porches or verandas that wrap around from the front of the home).

In order to reduce the scale of corner lot developments and to eliminate the appearance of an abrupt end to the streetscape, single-storey elements shall comprise a minimum of 30% of the width of the front and flanking street elevations.

### 5.2.5.2 Rear Elevations + Walkouts

Lots with high-visibility rear elevations and including lots along the perimeter (visible from off-site) shall consist of proportions and details similar to that of the front elevation. These elevations shall avoid large expanses of blank walls by providing physical articulation (projections and offsets) of the wall plane and wall openings of appropriate number and size.

All walk-out elevations shall utilize a graduated roof line and a combination of details (decks, roof skirts and balconies) and a minimum of two wall planes to provide sufficient articulation and prevent a three-storey presence.

## 5.2.6 Exterior Colours

The colour palette for Goodridge Corners seeks to follow the same aesthetic philosophy as the chosen architectural theme - clean, contemporary, bold, yet understated.

Goodridge Corners is intended to be a homogeneous place created with a limited palette of forms, materials, and colours. Colour application is a key component of the architectural theme and a powerful device for creating variety among plans and elevations. Care must be taken, however, to maintain the relationships between the main body, accent trim, and roof colours.

These examples illustrate the three primary strategies for applying colour to the main body, trim, and accents of a Goodridge Corners house.



### Contrasting Palette

Trim and other additive components are a distinct colour from the main body of the house. White, light gray, charcoal, natural or a complementary colour to that of the main body of the house are appropriate choices.



### Tonal Monochromatic Palette

Trim and other additive components are a similar colour to the main body of the house but are lighter or darker tones compatible with the selected architectural style.



### Monochromatic Palette

Trim and other additive components match the colour of the main body of the house. All-white buildings are not permitted and can only be proposed using “Contrasting” or “Tonal Monochromatic Palettes”.

**Note:** Each house can utilize no more than two (2) exterior wall colours with the addition of one (1) accent wall colour reserved for either a natural wood tone appearing feature or masonry. (...cont.)

Rules of repetition (Section 5.2.4) also apply to exterior paint schemes.

Accessory elements shall not be painted to attract attention but instead should be painted to match the trim colour. All trim, soffit, fascia, and railings should match.

Flashing and sheet metal elements (e.g. flue vents, intake and exhaust vents, and other similar wall protrusions) shall be painted to match the colour of the surrounding wall treatment.

Corner boards should match the cladding colour when using board and batten.

Front doors may be painted an accent colour, but the door jamb should remain the trim colour. Auxiliary doors should not be highlighted with accent colours.

Paints with a gloss finish are not permitted for any portion of the house.

Latex paints should be used instead of alkyd-based paints to minimize toxic fumes.

Do not select finishes only based on low first cost. More durable materials with less outgassing may have a higher initial cost but can be more economically viable over the life of a building.



## 6.0 design guidelines: details + materials

Every choice that is made during the design and development process has an environmental consequence. These guidelines, where possible, will also provide Builders / Lot Owners with sustainable requirements and material suggestions that are consistent with the Developer's guiding principles related to sustainability.

### 6.1 General

#### + Details

Utilize energy-efficient building envelope techniques, specifying high levels of insulation, high-performance windows, tight construction, etc.

Choose materials and components that can be reused or recycled when changes are required.

Design buildings to use renewable energy. Consider incorporating photovoltaics in the structure or incorporate opportunities for future installation.

Avoid ozone-depleting chemicals in mechanical equipment and insulation.

Use durable products and materials. A product that lasts longer or requires less maintenance usually saves energy. Durable products also contribute less to solid waste issues.

#### + Materials

Engineered lumber products should be used to minimize the use of old-growth timber. Engineered lumber uses low-density, fast-growing varieties of trees in combination with plastic resins. Despite its name, engineered wood siding doesn't contain any real wood, at least wood in its original state. This eco-friendly exterior siding option is made from 95% recycled waste: wood fibre from sawmills and recycled thermoplastic.

Vinyl Siding - PVC is a synthetic material made of sodium chloride and petroleum, a non-renewable resource. With its low recycling rate, this exterior siding product is among the worst choices an eco-conscious consumer can make. Minimize the use of materials which use PVC's in their makeup.

Fibre Cement Siding - Much like acrylic, fibre cement siding contains a lot of grey energy, and its manufacturing process pollutes the environment.

Although no exterior siding is 100% green, brick is an excellent eco-friendly choice. It's often made from clay, an abundant natural resource that doesn't contribute to pollution when extracted. When brick is used, specify locally made bricks using indigenous materials.

When stonework is required, use stone from a local source, allow for dimensional variation in size/ thickness of stone and specify a rougher surface finish whenever possible, since it requires less energy to produce.

Consider masonry made with recycled and waste materials.

Recycled plastic products should be specified whenever possible.

Avoid plastic foams which use CFC's or HCFC's as blowing agents.

## 6.2 Foundations, Parging + Utility Meters

### + Details

When possible, use alternative foundation systems (ICF / stay-in-place insulation formwork) that minimize the volume of concrete foundation material.

Concrete parging shall not exceed 24" (600mm) above finished grade (to the underside of wall cladding material) and should be minimized at front elevations to 12" (300 mm). For corner lots, parging along both the front and flanking side elevation shall be 12" (300mm). Where side and rear elevations are located along slopes (stepped foundations), the parging may be increased at the discretion of the DRC.

Electrical and gas meters are to be located on rear or side elevations and screened from view if highly visible.

## 6.3 Exterior Walls

### + Details

All exterior walls must be finished in similar materials on all sides of the main volume of houses, garages, and any other structure on the lot.

Large, unbroken wall planes and windowless elevations will not be permitted on front, rear, or high-visibility side elevations.

All front and highly visible house elevations are required to incorporate horizontal and vertical building offsets that are relative in scale to the elevation or wall plane.

Articulated wall planes are encouraged to break up building facades and provide visual interest. Simple pattern changes to distinguish volumes or define design elements are allowed. Numerous pattern changes in the siding is discouraged.

Material application should be considered early in the design process so that logical material termination points are identified. In general, material changes shall occur at changes in the wall plane at inside corners only.

Masonry used to express a building's base or to create a wainscot located on the front elevation should wrap corners and terminate at a prominent building element on the side elevation. Where a physical termination point does not exist, a masonry wrap of 2'-0" will be required.

In all cases, the use of masonry shall include appropriately sized capstones or ledges. All openings in masonry (doors and/or windows) shall include appropriately sized and coordinated sills and lintels.

The rules of high visibility + prominent lots apply to the use of stone / brick masonry.

**+ Materials**

All houses at Goodridge Corners shall utilize no more than:

- Two (2) wall cladding materials or
- Two (2) cladding materials + one (1) stone / masonry accent.

Stone masonry is strongly encouraged for all houses at Goodridge Corners. Round natural stone, “river rock” is not permitted.

\*All houses utilizing **vinyl siding** are required to include stone / brick masonry. In these cases, masonry shall comprise a minimum of **30%** of the area of the front elevation (excluding garage door area). Houses on high-visibility and corner lots will be required to extend this requirement to both the flanking side elevation and any other elevation deemed high-visibility by the DRC.

Approved wall cladding materials include:

TYPE	MANUFACTURER	PRODUCT
Engineered Wood Siding	LP SmartSide (or equivalent)	lap siding nickel gap siding board + batten
Stucco	Smooth trowel	post-consumer recycled content
Fiber Cement Siding	James Hardie (or equivalent)	lap siding shingle panel (straight edge) board + batten stucco panel
*Vinyl Siding	*Vinyl	lap siding board + batten
Cellular Composite Siding	Celect (or equivalent)	lap siding board + batten
Metal Siding (coated steel)	various profiles subject to approval	various profiles subject to approval
Stone / Brick Masonry	various	real / cultured
Real Wood Siding	various	various accent / feature walls various orientations



## 6.4 Trim

### + Details

Trim (window, door and corner) is required when wall cladding (regardless of material) is horizontal lap, nickel gap, board + batten, shingle and stucco panel. Trim is not required for houses using stucco.

The requirement for trim (window, door, and corner) may be waived at the discretion of the DRC, depending on the style of the house, the main body cladding material, and the style of the windows and doors being proposed.

Where trim is required, trim shall be applied to the front and all elevations of high visibility. Doors and windows shall include trim around all four (4) sides (except the bottom of doors).

The width of all trim will depend on the style of the house being proposed. All trim shall be of a suitable thickness to provide relief from the wall cladding material to create a visible shadow line. When supported by the style of the house, trim along the bottom edge of all windows on all street-facing and high-visibility locations shall be of exaggerated depth to replicate the appearance of a traditional sill.

Where trim is being used adjacent to masonry cladding, the trim must be built out to provide relief of 1/2" minimum.

### + Materials

Preference should be given to trim materials that are durable, long-lasting, and require minimal maintenance.

All trim material shall be consistent with the house's cladding material.



## 6.5 Gable Ends

### + Details

Gable end detailing shall be consistent with the architectural style of the house. The requirement for additional gable detailing will be reviewed on a case-by-case basis by the DRC, depending on the massing, scale, architectural style, and visibility of the house.

## 6.6 Front Entries, Porches, Columns + Front Stairs

### + Details

Porches, stoops and landings are an integral aspect of a Goodridge Corners house. They create a vital transition between the privacy of the house and the community space of the sidewalk and street. Porches help keep the house cool by blocking the sun and creating shaded areas for outdoor living.

Potential porch configurations are shown within the inspirational photographs throughout this document - including wrap-around porches, stacked porches, full-width porches, and porches at building corners. Builders and their designers are encouraged to explore additional porch variations derived from the permitted architectural style.

Porches and entranceways are required to be covered at a level that encloses and protects the space at the first storey, or a height that is consistent and proportionate to the design. Two-storey, pillared entries will not be permitted.

Wood porches must be skirted to grade. The front-facing elements of these porches, including risers, must be stained to match or complement the exterior colour scheme of the house. Open risers are not permitted on any front or flanking side elevation of corner lots.

The use of columns complements the design, style, and overall architectural aesthetic of each house. Columns shall be integrated as part of the façade composition on both elevated porches and stoop / landing entry designs. Columns shall appear structurally authentic and substantial in proportion to the overall building mass. The minimum size for single decorative columns or timber posts shall be 250mm (10") wide. Round, fluted, and tapered columns are not acceptable.

### + Materials

Composite decking is permitted for porch and deck surfacing only. All porch and deck trim shall utilize approved trim and siding materials only.

In all cases, columns shall not be faced with vinyl, cellular composite material, or stucco. As a minimum, columns shall be expressed as solid wood or clad with a minimum of panel board or masonry / stone. Columns containing multiple materials are not permitted. Wood or wood-like siding (i.e. Longboard or equivalent) material will be considered subject to design details.

## 6.7 Front Doors

### + Details

All entry doors shall harmonize with the architectural style of the home. Front entry doors should appear substantial, punctuated by glazing and include decorative hardware, all in keeping with the architectural style of the home.

All front entry doors shall incorporate glazing, sidelights or transom windows. Fanlight or sunburst door glazing is not permitted.

The finishing of all front entry and secondary doors shall adhere to Section 5.2.6 Exterior Colours.

### + Materials

Approved entrance door materials include solid wood, fibreglass, and insulated metal. All other proposed door materials are at the sole discretion of the DRC.

## 6.8 Windows

### + Details

Window size and detailing (including basement-level windows on walk-out homes) should be consistent with the architectural style of the house and compatible with the overall composition of the building elevation. Vertically proportioned feature windows are encouraged on the front elevation, while secondary windows should emphasize the room in which they are located.

Window openings located in masonry walls (stone, brick, or stucco) shall be recessed a minimum of two inches from the finished facade face, designed to express building mass, and incorporate both a sill and lintel of appropriate size and scale.

Groupings of windows (e.g., prairie style ribbon windows) should be centered on the building mass unless occurring at a corner, in which case they should “wrap” the corner, providing windows on the adjacent façade.

When used, all window grilles (muntin bars) must be external simulated divided lights (SDL'S).

### + Materials

All windows are to be constructed of either vinyl or metal-clad wood.

## 6.9 Solar + Electric Vehicle Ready

Designing a home to be Photovoltaic / Solar (PV) and Electric Vehicle (EV) Ready can not only encourage homeowners to install PV and EV systems but will make the addition of solar panels and charging straightforward and more affordable in the future.

All houses and garages at Goodridge Corners are required to be both PV-Ready and EV-Ready. In addition to the guidelines noted below, The Builder / Lot Owner shall also follow all applicable Natural Resources Canada publications related to solar-ready and/or photovoltaic systems.



**Note:** In situations where only a garage pad is provided and intended for future garage construction by the purchaser, appropriately sized conduit rough-ins and stub-outs from the main electrical room or panel to the garage pad shall be installed for both future PV and EV applications.



### + Details (PV-Ready)

Roof-mounted Solar Panels shall be designed and installed to aesthetically blend with the style and design of the house and roof. Solar Panels shall be placed in efficient locations but shall not dominate the front elevation of the home as viewed from the street. The colour of the Solar Panels, sheet metal, and all supporting mounts and hardware shall be a non-reflective colour that blends with the adjacent roof material.

All non-solar obstructions (e.g. vents, chimneys, skylights, etc.) shall be grouped on the north ridge or on the roof slope opposite the intended location of the solar array (refer to Guideline Section 6.11.1 for additional information).

The roofs of the house, garage and detached garage shall be designed to support the potential maximum-sized solar array (typically 3 lbs / ft<sup>2</sup> ).

The electrical system for the house shall be designed to accommodate current and future PV expansion (i.e. install a 1" conduit from attic to electrical room installed above insulation c/w open breaker space in electrical panel that can accommodate load additions). Additional physical space shall be allocated adjacent to the electrical panel for a PV inverter.

Panel bus rating shall be specified with the expectation of both PV and EV applications (typically the next largest size relative to the main breaker rating).

## + Details (EV-Ready)

An EV-ready home provides consumers with safe access to a dedicated 240V power supply for faster Level 2 EV charging. All dwelling units at Goodridge Corners shall provide one of the following two approaches:

1. Pre-installed conduit: The electrical system for the house shall be designed to accommodate enough designated space and capacity in the main electrical panel or garage subpanel for at least a 40 amp, 240V dedicated branch circuit. A 1" conduit shall be installed linking the electrical panel to the future location of the EV charger, near where cars will be parked (detached garage, driveway, garage pad, etc.).

OR

2. Wire a Level 2-ready outlet: In addition to the pre-installed conduit steps, the Builder / Lot Owner shall install a 240V grounded alternating current receptacle, allowing a homeowner to purchase a plug-in Level 2 EV charger without the extra wiring expense.

**Note:** For multi-family residential developments, the following requirements will apply:

Where one or more parking spaces are provided as part of a residential development, each space must include an energized outlet capable of providing a minimum of Level 2 EV charging.

Each energized outlet must be assigned to an individual vehicle parking space and must be located no further than 1.0 metre from that parking space.

Parking spaces equipped with an Electric Vehicle charger must be identified using signage or paint markings on the pavement to indicate that the space is for Electric Vehicle charging only.

Where Electric Vehicle Energy Management Systems are proposed for a residential development, the system must be capable of supplying a minimum performance level of 7.2 kW per parking space over an eight (8) hour overnight period.

## 6.10 HVAC + Mechanical

Mechanical systems shall be designed using energy-efficient equipment for heating, cooling, and ventilation. Passive solar heating strategies should be used to reduce mechanical heating needs in residential uses.

### + Details

All A/C systems shall be ENERGY STAR® certified, CFC-free, air source heat pumps (ASHP).

All houses shall be equipped with a “drain water heat recovery” (DWHR) pipe system.

## 6.11 Roof Design

Major roofs shall be used in the most straightforward way, to cover and highlight the primary masses of the buildings. In general, for single family homes, a simple, dominant roof form should be used in conjunction with complimentary, secondary, and minor roof elements such as dormers and gable ends.

### 6.11.1 Roofs, Roof Slope + Overhangs

#### + Details

The roof massing of a Goodridge Corners house is to be simple and shall reflect the construction of simple, straightforward, traditional house designs. Each house shall have one primary mass and at least one secondary mass. Gable roofs with varying orientations are encouraged.

Roof designs for Goodridge Corners are restricted to Gable, Hip and Shed (mono-pitched). House designs utilizing a Shed (mono-pitched) roof are subject to repetition rules and require a minimum of two (2) lots on either side.

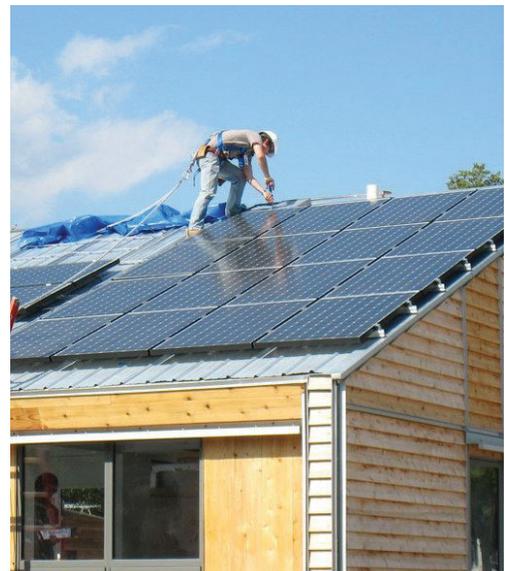
The slope of the primary roof shall be between 6/12 and 12/12. Minor additive volumes and dormers may have a shallower pitch. An alternative minimum roof pitch may be considered depending on the style of the home at the discretion of the DRC.

Roof designs shall consider solar (PV) applications early in the design process. Roof planes identified as ideal for solar applications should be kept simple, uninterrupted, and free of dormers and valleys to maximize solar panel arrays. Solar roof designs should be coordinated with both plumbing and HVAC consultants to ensure all required roof penetrations are diverted away from the roof planes intended for solar installations.

The roofs of the house, garage and detached garage shall be designed to support the potential maximum-sized solar array (typically 3 lbs / ft<sup>2</sup>).

Roof overhangs or eaves are to be proportionate to the design of the home. In keeping with the architectural theme, the depth of overhangs will be permitted to vary considerably.

- Front overhangs on non-south-facing elevations (if appropriate to the style) can be reduced to 150mm (6").
- Overhangs on south-facing front and rear elevations should be increased and sized to provide solar shading in the summer while allowing sunlight and warmth inside the home during the winter 450-900mm (18-36").
- Overhangs along side elevations are subject to municipal zoning requirements.
- Contemporary roof designs where gable fascia and overhang transition into the wall design below, resulting in a 0" roof overhang on side elevations, will be reviewed on a case-by-case basis by the DRC.



### + Materials

All roofs shall be designed utilizing Cold Roof strategies, including the use of roofing materials with a high solar reflectance or albedo.

Roofs shall be finished in 30-year (minimum) architectural grade asphalt, recycled rubber shingles (Euroshield or equivalent), composite roof shakes (Enviroshake or equivalent), or prefinished metal.

Shingle colours shall be appropriate to the architectural style, in light to mid-tone shades and must complement the siding colour as approved by the DRC. Black, red, green, and blue tones will not be approved.



### 6.11.2 Soffit + Fascia

#### + Details

All homes are required to provide fascia boards and soffits under the eaves. Fascia boards are to be proportionate to the overall massing of the house.

All Fascia boards are to be 200mm (8") wide minimum.

All gable eaves and corresponding fascia shall have a traditional rafter appearance. "Pork-chop" eaves or roof returns are not permitted at Goodridge Corners. Gable eaves are to be boxed-in flush with the wall plane below.



#### + Materials

Fascia shall be prefinished metal or painted engineered wood (LP Smartside Fascia or equivalent). Vinyl Fascia will not be permitted.

Soffits shall be prefinished metal.



### 6.11.3 Rainware, Eaves, Downspouts + Flashing

#### + Details

Eaves and downspouts are required on all homes and shall be designed in a manner to minimize their appearance on front and high-visibility locations. Downspouts should be installed on the side and rear elevations only to minimize the front view.

Downspouts should be located in a manner to limit the channeling of water exiting the downspout and should be directed to permanent on-site stormwater control areas within the landscape (i.e. vegetated swales, infiltration / rain gardens, rain barrels).

The Builder / Lot Owner shall review the 'Notes' on the latest approved Goodridge Corners Lot Grading Plan to determine if their lot is required to connect the foundation drain and/or roof leaders (downspouts) of their home to their lot's storm service. The Builder / owner may not be able to receive their final lot grading approval from the Municipality if they do not conform to this requirement, if applicable. The Goodridge Corners Lot Grading Plan can be found on the Goodridge Corners website, [www.edmonton.ca/goodridgecornerslandsales](http://www.edmonton.ca/goodridgecornerslandsales).

It is recommended that downspouts not be directed onto driveways, patios or other hard surfaces. Likewise, downspouts should not be directed toward neighbouring properties unless a suitable swale exists between the properties to ensure adequate drainage away from the homes.

Rain barrels should include an insect screen, drain spout and an overflow spout that directs surplus storm water to control areas (i.e. vegetated swales, infiltration / rain gardens).

#### + Materials

Eaves and downspouts shall be of prefinished metal and match the trim colour of the home. Plastic eaves and downspouts are not permitted.

Rain barrels are to be neutral colours that complement the overall color scheme of the home.

## 6.12 Chimney (Fireplaces), Flues + Roof Vents

#### + Details (PV-Ready)

All chimney flues shall be boxed in a chase and integrated with the main house in terms of materials, textures and proportions. Where possible, all roof vents for combustion shall be centralized and enclosed within a chimney enclosure.

If integrating the flue into a chimney structure is not possible, then all vents are to be located on rear roof slopes or other less visible locations and be painted to match the roof colour. Vents are not permitted on front or prominent facades.

Chimney projections on exterior walls of high visibility shall extend to the foundation / grade. Cantilevered chimneys are not acceptable if they are visible from a street.

Gas fireplace flues and vents may not be located on the front or any other street-oriented facade. All flues and vents are required to be on the side of the home or through the roof.

## 6.13 Decks + Railings

### + Details

Rear decks should have railings in a style that complements the architectural theme. All main floor decks are to be enclosed to grade and stained to match or complement the exterior paint scheme.

### + Materials

Acceptable railing materials include metal, wood, metal and glass (acceptable on rear elevation only), and composite materials. Deck corner posts are to be consistent with the overall detailing of the home (minimum of 4" square).

## 6.14 Garages + Garage Doors

### + Details

All garages shall be designed such that their massing, articulation, detailing (including gable ends), and finish materials coordinate with and do not overwhelm the home (garage doors shall not be a feature of the home). Detached garages are to be consistent in style, finish and colour with the design of the home.

Garages that include a floor with living space above shall not have a roof peak higher than the main roof structure of the home.

The finishing of all garage doors shall adhere to Section 5.2.6 Exterior Colours. The door should be the same color as the siding, or as an alternative, may be the same colour as the fascia or trim (note: white garage doors are not permitted). A contrasting color for the garage door may be allowed at the discretion of the DRC.

A maximum of 18" must be maintained between the overhead garage door and the eave line. Where the height exceeds 18", additional detailing may be required.

The use of glass panels in garage doors befitting the style of the home is encouraged. Glass panels in garage doors on bungalow homes are required. Sunburst or fan windows are not recommended. The corners of all overhead door openings must be straight (angled corners will not be permitted).

### + Materials

Garage doors shall be solid wood, insulated fibreglass, or insulated metal. Uninsulated metal or plastic doors are not permitted.

Metal door design will be permitted by the DRC on a case-by-case basis.



## 6.15 Exterior Lighting + Accessories

### + Details

Exterior lighting must be designed to enhance the atmosphere of the community. Lighting shall not interfere with or compete with the enjoyment of the nighttime.

The number of exterior light fixtures shall be limited to only those required to provide adequate lighting and shall not be superfluous or used purely as an accent for landscaping.

All light fixtures are to be cut-off style (Dark Sky) fixtures that direct light downward and shield the light source from view. Low intensity, non-glare fixtures to provide adequate illumination for safety and aesthetic enhancement are permitted. No uncovered light fixtures or non-focused, non-downward lighting fixtures are permitted. All exterior lighting is to be indirect.

Where practical, exterior lighting shall include timers, dimmers, sensors, or photocell controllers that turn the lights off during daylight hours or hours when lighting is not needed to reduce overall energy consumption and eliminate unneeded lighting. High wattage outdoor lighting is not permitted.

LED colour temperature for both the exterior of the home and landscape shall be kept within the range of 2700 - 3500K.



## 6.16 Address Identification

### + Details

Address numbers are to be a minimum of 8" in height and shall be located on the front garage elevation or at the front entry door. All address numbers shall be facing the road.

### + Materials

Numbers shall include a lifetime finish, and the colour of each number shall contrast with the colour of the adjacent building cladding material.



## 7.0 landscape design guidelines

Just as the building facades in Goodridge Corners are generated by individual creativity in the context of design and material standards, so are the individual landscapes. The use of classic design principles and native, contextual materials helps create a pleasing, cohesive, and sustainable streetscape, even when architectural styles on individual buildings differ.

In reviewing residential landscaping plans, the DRC, in addition to confirming that minimum landscape requirements have been achieved, the DRC will also examine the following criteria:

- The aesthetic of the landscaping creates a sufficient arrival experience to the front door, and it blends with existing vegetation, adjoining properties, and the streetscape.
- Proper shade tree placement to reduce solar gain - shade trees help to keep homes up to 7C degrees cooler in the summertime.
- Required trees and shrubs have been selected from **Figure 3 - Native Plant List**, and are locally grown and sourced.
- Increased yard planting in place of traditional mowed lawn to reduce maintenance and irrigation requirements.
- A practical reduction of non-permeable areas.
- Stormwater management strategies (bioswales / drainage swales, bio infiltration areas / rain gardens, and rain barrels to catch rainwater for irrigation).

### 7.1 Landscape - Municipal Requirements

In addition to the specific Goodridge Corners landscape requirements listed here, all Builders / Lot Owners shall meet the minimum landscape requirements of the current Municipal Zoning Bylaw (Section 5.60 Landscaping). Municipal requirements can also be found here:

[www.edmonton.ca/residential\\_neighbourhoods/small-scale-residential-landscaping](http://www.edmonton.ca/residential_neighbourhoods/small-scale-residential-landscaping)



## 7.2 Landscape Components + Requirements

The following is a list of standard landscape components typical of a Goodridge Corners residential lot. These components have been defined and organized into categories that will aid in the design and understanding of a lower maintenance, increased-sustainability landscape for each lot. The Builder / Lot Owner is not required to use all components as they are interchangeable. However, it is the Builder / Lot Owners' responsibility to understand the components and, when used, their specific requirements.

### 1.0 Hard Surfacing:

#### Non-Permeable Pavement:

- Concrete, mortared-in brick or stone.
- Asphalt is prohibited.

VS

#### Permeable Pavement:

- Dry-laid flagstone, brick or stepping-stones, concrete pavers on compacted base, gravel or crushed stone, with drainage channels, loose stone, grass supported by paver system.
- Refer to Section 7.4.4.



### 2.0 Lawns:

#### Traditional Mowed Lawn:

- A lawn of traditional turf grasses requiring mowing every two weeks or less at the height of its season.
- All turf grass (sod) shall be drought tolerant - Water Star Certified.
- All turf grass (sod) shall be installed over a minimum 100mm (4") topsoil.
- Synthetic grass is not permitted.

VS

#### Alternative Lawn:

- **Fine-Leaved Fescue mix with annual rye**
  - Mature height 6 - 8".
  - May be mowed to 4" one to six times per season.
- **Micro Clover**
  - Mature height 2 - 4".
  - Low water requirements, stays green during drought.
  - Does not require mowing.
  - Holds moisture in soil.
  - Suppresses weed growth.



### 3.0 Required Plant Material:

#### Shrubs / Prepared Shrub Bed:

- A prepared shrub bed is defined by landscape edging (vinyl, aluminum, poured concrete curbing or a spade-dug edge). Beds are to contain a mixture of shrubs (Figure 3), perennials, groundcovers, and perennial grasses.

#### Single Detached + Semi Detached Housing:

- Site width less than 15.0m requires **6** shrubs min.
- Site width greater than 15.0m requires **10** shrubs min.

#### Duplex Housing:

- **6** shrubs min. per dwelling.

#### Row Housing:

- **6** shrubs min. per dwelling.

#### Corner Lots:

- **6** additional shrubs shall be planted on the flanking street side.

#### At the time of planting:

- Deciduous shrubs shall be 300mm ht. min. (5-gallon pot).
- Coniferous shrubs shall be 450mm spread min. (5-gallon pot).

+

#### Trees:

- All trees shall be locally sourced and grown, native to the region (Figure 3), and suitable for hardiness Zone 3b or hardier. Trees shall also meet the horticultural standards from the current edition of the “Canadian Nursery Stock Standard”, produced by the Canadian Nursery Landscape Association.

#### Single Detached + Semi Detached Housing:

- Site width less than 8.0m requires **1** tree
- Site width 8.0-15.0m requires **2** trees
- Site width greater than 15.0m requires **4** trees.

#### Duplex Housing:

- **1** tree min. per dwelling.

#### Row Housing:

- **1** tree min. per dwelling.

#### Corner Lots:

- **1** additional tree shall be planted on the flanking street side.

#### High-Visibility Lots:

- **1** additional tree shall be planted within the rear yard.

#### Perimeter and Laned Lots:

- **1** additional tree shall be planted in the rear yard. Tree shall be 2.0m min. from the rear property line.

+

#### At the time of planting:

- Deciduous trees shall be **50**mm caliper min.
- Coniferous trees shall be **2.0**m ht. min.

### 4.0 Stormwater Management Strategies:

#### Bioswales / Drainage Swales:

- Refer to Section 7.4.2

#### Bio Infiltration Areas / Rain Gardens

- Refer to Section 7.4.1

#### Rain Barrels

- Refer to Section 7.4.3

All residential landscapes, including duplex and row housing shall include at least one (1) of the above strategies per dwelling unit.



### 7.3 Landscape Area Requirements

It is the Builders / Lot Owners responsibility to landscape the entire “Landscape Area”. After design of the house and garage, the driveway (which shall minimize the area of non-permeable pavement), and any other structures that are part of the application, the balance of the lot shall be the “Landscape Area”. All lots, including corner lots, shall be landscaped to the back of the municipal sidewalk, curb, or boulevard.

- In addition to the driveway, an additional ten percent (10%) of the total Landscape Area may receive **Non-Permeable Pavement**.
- Another twenty percent (20%) may receive **Permeable Pavement**.
- No less than fifty percent (50%) of the Landscape Area in the front yard shall be a **Prepared Shrub Bed**.
- No more than twenty percent (40%) of the total Landscape Area may become **Traditional Mowed Lawn**.
- The portion of these percentages that have not been utilized, plus the remaining Landscape Area, shall be either a **Prepared Shrub Bed** or **Alternative Lawn**.
- One (1) **Stormwater Management Strategy** shall be incorporated into the Landscape Area for each

#### + Adjustments

- **Traditional Mowed Lawn** area may be substituted for **Permeable Paving** area and vice versa.
- **Permeable Paving** area or **Traditional Mowed Lawn** area may be substituted for **Non-Permeable Pavement** area.
- **Non-Permeable Pavement** area may be increased by another 5% if the DRC determines that the applicant has taken steps to materially reduce storm water runoff from the property through the incorporation of **Stormwater Management Strategies** such as permanent rain barrels, groundwater infiltration areas, (drainage swales, bioswales + rain gardens).



## 7.4 Stormwater Management

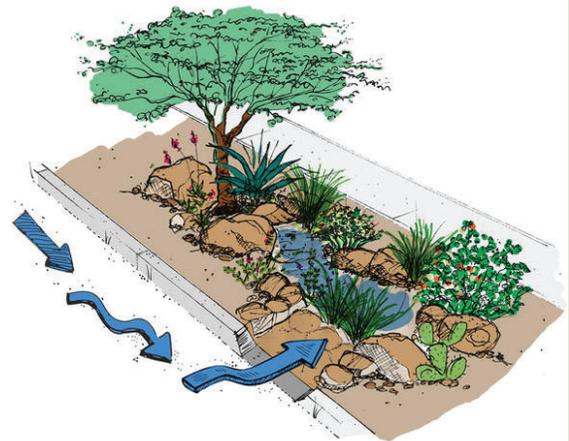
Stormwater management is a critical aspect of residential landscaping that is sometimes overlooked. Heavy rain, melting snow, runoff from roofs, driveways, and roads carry pollutants such as oil, heavy metals, chemicals, and lawn fertilizers directly to nearby waterways, where they bioaccumulate and seriously affect water quality. Conventional ways of dealing with stormwater treat rain as a nuisance rather than an essential part of the landscape.

Effective stormwater management starts with a thoughtful landscape design that integrates environmentally conscious practices. By incorporating sustainable solutions such as bioswales, rain gardens, permeable pavements, and well-positioned vegetation, you can significantly mitigate the negative impacts associated with stormwater runoff. These approaches not only help protect your property from potential water damage but also contribute to water conservation efforts and support local ecosystems.

To accompany the sustainable commitment by the Developer, all house and landscape designs at Goodridge Corners shall utilize Stormwater Management Strategies to help the soil and vegetation capture, neutralize, and manage stormwater runoff. Despite the varying techniques, the purpose of the noted Stormwater Management Strategies is to allow water proper time to soak into the soil where it nourishes plants, can be cleaned, replenishes aquifers, and supports the water systems during dry periods.

### 7.4.1 Rain Gardens / Bioinfiltration Areas

A rain garden is a landscaped feature that replaces an area of lawn in order to capture the stormwater (rain and melted snow) that runs off of lawns, roofs, driveways, and other non-permeable surfaces. This shallow depression combines native plants, rocks, and loose, deep soil that slow down, absorb and naturally filter the runoff before it enters our storm systems and eventually our waterways. Properly constructed rain gardens are designed to allow overflow in a large rain event and hold standing water for no more than 48 hours.



### 7.4.2 Bioswales / Drainage Swales

Bioswales or vegetated swales are shallow, open channels landscaped with native plants or lawn that are designed to move stormwater runoff from one point to another. Additionally, swales should slow the speed of surface runoff and allow stormwater to infiltrate back into the ground instead of flowing directly into storm sewers. They are an ecologically functional alternative to underground storm drains. In some situations, they can be used in combination with storm drains and rain gardens.



### 7.4.3 Rain Barrels

Rain Barrels shall be of a colour and design that blends with the house and landscape design.

Rain barrels are to be neutral colours that complement the overall color scheme of the home. Rain Barrels can not be blue, or black.



### 7.4.4 Permeable Paving

Permeable pavements, such as precast concrete permeable pavers, flagstone, step-stones, or grid systems filled with gravel or grass, allow water to infiltrate the ground, reducing surface runoff. They provide an attractive and sustainable hardscape alternative to traditional non-permeable surfaces.

## 7.5 Irrigation

Landscapes that are eco-friendly assist in the conservation of water by minimizing environmental impact and reducing outdoor water usage. In situations where irrigation is still required, efficient irrigation systems shall be utilized.

### + Details

High-efficiency irrigation through drip or micro-spray systems shall be utilized. These systems direct water directly to the root zone of plants at a slow, controlled rate while eliminating wasteful overhead spray and minimizing evaporation and runoff.

Irrigation systems shall integrate weather-based controllers that utilize weather data such as temperature, rainfall, and humidity to adjust watering schedules automatically

Soil moisture sensors provide accurate information about the soil's moisture content, enabling more precise irrigation scheduling and run times.

## 7.6 Mulch

Mulch refers to any material spread over the soil surface to enhance its condition and support plant growth. This layer serves multiple purposes, acting as a protective covering that retains moisture, regulates soil temperature, suppresses weed growth, and prevents soil erosion.

### + Details

Mulch shall be used in all Prepared Planting Beds.

All mulched areas shall use a single type of rock or wood mulch consistent throughout the entire planting bed and Landscape Area.

Where used, rock mulch shall be locally sourced, indigenous rock in soft natural hues of tan, buff, light grey, and charcoal that complement the surrounding contextual landscape.

Unnatural appearing rock and organic / wood mulch in colours such as black, red, white, and rainbow will not be permitted.

## 7.7 Driveways, Patios, Sidewalks + Stairs

### 7.7.1 Driveways

#### + Details

Driveways are to be located in accordance with the most recently approved Goodridge Corners neighbourhood plan (**FIGURE 1**, or which can be found on the Goodridge Corners website). All driveways are to be a minimum of concrete with a broom finish and shall have a maximum width at the property line of no more than the width of the garage. A wider driveway may be considered if it can be demonstrated that it does not compromise drainage and does not detract from the streetscape or hinder the fulfilment of the landscaping requirements.

#### + Materials

All Driveways shall be constructed of standard “broom finish” concrete, stamped concrete, or exposed aggregate concrete. Permeable options include concrete unit paving, porous concrete unit paving (e.g. Expocrete - SF-Rima) and composite permeable pavers (e.g. Brock White - VAST Pavers). Asphalt paving and loose stone aggregate (i.e. gravel) are not permitted as driveway materials.

The use of alternative surfaces / paving materials that use sustainable design strategies, such as permeable pavements (that promote infiltration) and pavements with high solar reflectance (reduce heat island effect), are strongly encouraged.

### 7.7.2 Patios, Sidewalks + Stairs

All non-permeable surfaces shall be designed to direct stormwater runoff toward the Landscape Area or appropriate Stormwater Management feature within the landscape (refer to Section 7.4).

#### + Details

Sidewalks and patios shall be constructed of long-lasting materials that complement the style of the house and the adjacent landscape.

All front walks are to be a minimum of concrete with a broom finish, 3'-0" in width.

Poured-in-place and precast concrete steps are permitted and shall match or complement the sidewalk leading to the home.

#### + Materials

Patios and Sidewalks shall be constructed of standard “broom finish” concrete, stamped concrete, or exposed aggregate concrete. Permeable options include concrete unit paving, porous concrete unit paving (e.g. Expocrete - SF-Rima) and composite permeable pavers (e.g. Brock White - VAST Pavers). Asphalt paving and loose stone aggregate (i.e. gravel) are not permitted as patio or sidewalk materials.

The use of alternative surfaces / paving materials that use sustainable design strategies, such as permeable pavements (that promote infiltration) and pavements with high solar reflectance (reduce heat island effect), are strongly encouraged.

Variances to patio and sidewalk material are subject to review and approval by the DRC.

## 7.8 Fencing

The construction of all proposed fencing, including repairs and maintenance is recommended to match the approved subdivision fence detail in colour and style as per the details provided in **FIGURE 2**.

Fencing on lots other than those constructed by the Developer in accordance with the sale agreement between the Builder / Lot Owner and the Developer is the responsibility of the Builder / Lot Owner to construct. Fencing locations and types provided by the Developer can be found on the neighbourhood plan in **FIGURE 1**. Fence details can also be found on The Goodridge Corners (Stage 3) website.

[www.edmonton.ca/goodridgecornerslandsales](http://www.edmonton.ca/goodridgecornerslandsales)

The Builder / Owner shall be solely responsible for the maintenance of all fencing within their lot, including any that was constructed by the Developer.

## 8.0 subdivision appearance

### 8.1 Signage

In order to maintain cohesiveness for signage within the subdivision, all signage must adhere to the Municipality's Bylaw requirements.

### 8.2 Excavation Material

All Builders / Lot Owners must ensure that all excavation is kept within the confines of their lot. Any spillage onto a road, lane, sidewalk or neighbouring lot must be removed immediately, or the Developer will arrange for its removal and invoice the Builder / Lot Owner for expenses. Care should be taken when excavating lots to avoid undercutting the developer-provided fencing or damaging fences with excavation spill piles.

### 8.3 Clean-up + Lot Appearance

The construction site shall be maintained in a neat and tidy condition at all times. No stockpiling of material is permitted beyond the limits of construction. Ensure that the delivery of materials is scheduled as needed, rather than as bulk deliveries that will require storage space that is not available in the designated limits of construction.

Contractors are responsible for maintaining all public and private roadways impacted by their work. Regular street cleaning is required to ensure roadways are kept in a clean and safe condition. Do not wash street debris into storm sewers or watercourses.

Debris and trash removal for a work site shall be undertaken by the Contractor, who shall clean up all trash and debris on the construction site AT THE END OF EACH DAY. Trash and debris shall be removed from each site frequently and shall not be permitted to accumulate. The Contractor shall provide trash containers suitable for the quantity and type of refuse generated by the construction activities being undertaken on the Site at all stages of construction. Lightweight materials, packaging, and other items shall be covered or weighted down to prevent being blown off the construction site. The burning of garbage is strictly prohibited.

Cigarette butts are a serious fire hazard and must be disposed of in appropriate garbage containers. DO NOT deposit cigarette butts on the ground.

If non-compliance issues are noted, Builders / Lot Owners will be given a 48-hour notice to comply. If the Builder fails to rectify any issues identified in such notice within the time set out therein, the Developer may submit a Bylaw complaint, which could result in penalties to the Builder if a Municipal Enforcement Officer determines that the property conditions do not meet the applicable municipal standards.



# appendix **A** REGISTRATION / PRELIMINARY DESIGN REVIEW FORM

This form must be completed by the Builder / Lot Owner or designated applicant and submitted to the DRC in order to confirm Design Review Registration. A completed Appendix A is required prior to the submission of any plans for review or consideration.

**Stage:** Goodridge Corners - **Stage 3**    **Lot:** \_\_\_\_\_ **Block:** \_\_\_\_\_ **Plan:** \_\_\_\_\_

**Civic Address:** \_\_\_\_\_

**Builder / Lot Owner:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Contact Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_ **Email:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

This Application acknowledges that the plan review is provided as a service and that the Developer and the Design Review Consultant assumes no responsibility for the accuracy of the information provided, or for any losses or damages resulting from the use thereof. This plan review does not guarantee approval for Development Permit or Building Permit by the City of Edmonton.

**Signature of Builder / Lot Owner** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Received By:** \_\_\_\_\_ **Date:** \_\_\_\_\_

# appendix **B** BUILDING PLAN APPROVAL APPLICATION FORM

This form must be completed by the Builder / Lot Owner or designated applicant and submitted along with all required plans and other documents as noted in APPENDIX C to the DRC for Design Guideline Approval.

**Stage:** Goodridge Corners - **Stage 3**    **Lot:** \_\_\_\_\_    **Block:** \_\_\_\_\_    **Plan:** \_\_\_\_\_

Civic Address: \_\_\_\_\_

**Registered Lot Owner:** \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_ Fax: \_\_\_\_\_

**Builder / Lot Owner** (if other than above): \_\_\_\_\_

Contact Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_ Fax: \_\_\_\_\_

**Certified Energy Advisor:** \_\_\_\_\_

Contact Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_ Fax: \_\_\_\_\_

**Land Use:**                                     Single Family                                     Multi-Family

Land Use Designation: **RSF**

**House Design:**                                    Type:     Bungalow     Bi-Level     Split-Level     Two Storey     Other

Area: Main Floor: \_\_\_\_\_ ft<sup>2</sup> \_\_\_\_\_ m<sup>2</sup>

Second Floor: \_\_\_\_\_ ft<sup>2</sup> \_\_\_\_\_ m<sup>2</sup>

Total Floor Area of Primary House: \_\_\_\_\_ ft<sup>2</sup> \_\_\_\_\_ m<sup>2</sup>

Total Floor Area of Secondary Suite (if applicable): \_\_\_\_\_ ft<sup>2</sup> \_\_\_\_\_ m<sup>2</sup>

**Sustainability Certification:**

The following are ALL required (check to confirm):

EnerGuide Rating (as per Section 4.1):  yes

Built Green® Platinum Rating:  Platinum Rating    or     Net Zero Energy+

Solar (PV):  PV-Ready    or     PV Equipped  
(requires roof plan drawing as per APP-C)

Electric Vehicle (EV):  EV-Ready    or     EV Equipped

EV charging Level 2 rough-in

EV rough-in to detached garage

Drain Water Heat Recovery:  DWHR Equipped

**Cooling System Confirmation:**

A/C system is a CFC-free, air source heat pump.  yes

# appendix **B** BUILDING PLAN APPROVAL APPLICATION FORM

## BUILDING MATERIALS - HOUSE

ITEM	MATERIAL	MANUFACTURER	COLOUR
Roofing.....	_____	_____	_____
Walls - Primary Cladding.....	_____	_____	_____
Walls - Secondary Cladding...	_____	_____	_____
Walls - Accent Cladding.....	_____	_____	_____
Walls - Stone Cladding.....	_____	_____	_____
Walls - Gable Ends.....	_____	_____	_____
Soffit.....	_____	_____	_____
Fascia.....	_____	_____	_____
Eavestrough / Rainware.....	_____	_____	_____
Window (Frames).....	_____	_____	_____
Door - Front / Primary.....	_____	_____	_____
Door - Secondary.....	_____	_____	_____
Door - Secondary.....	_____	_____	_____
Door Garage.....	_____	_____	_____
Trim (window + door).....	_____	_____	_____
Porch / Veranda / Fr. Steps....	_____	_____	_____
Columns.....	_____	_____	_____
Shutters.....	_____	_____	_____
Chimney.....	_____	_____	_____
Handrails.....	_____	_____	_____
Other.....	_____	_____	_____
Other.....	_____	_____	_____
Other.....	_____	_____	_____
Other.....	_____	_____	_____

# appendix **B** BUILDING PLAN APPROVAL APPLICATION FORM

**BUILDING MATERIALS - LANDSCAPE + SITEWORK**

ITEM	MATERIAL	MANUFACTURER	COLOUR
Driveway.....	_____	_____	_____
Driveway (accent / border).....	_____	_____	_____
Walkway (front).....	_____	_____	_____
Walkway (other).....	_____	_____	_____
Patio (rear).....	_____	_____	_____
Deck.....	_____	_____	_____
Retaining Walls.....	_____	_____	_____
Fencing.....	_____	_____	_____
Plant Bed Mulch.....	_____	_____	_____

**Landscape Requirements:**

Check only one and provide qty's.

**1a. Single Detached + Semi Detached**

<input type="checkbox"/>	Site Width Less Than <b>8.0m</b>	Required	Provided
	Trees	1	_____
	Shrubs	6	_____
<input type="checkbox"/>	Site Width <b>8.0-15.0m</b>		
	Trees	2	_____
	Shrubs	6	_____
<input type="checkbox"/>	Site Width Greater than <b>15.0m</b>		
	Trees	4	_____
	Shrubs	10	_____

**1b. Duplex**

<input type="checkbox"/>		Required	Provided
	Trees	1 / dwelling	_____
	Shrubs	6 / dwelling	_____

**1c. Row House**

<input type="checkbox"/>		Required	Provided
	Trees	1 / dwelling	_____
	Shrubs	6 / dwelling	_____

**2. Stormwater Management Strategies**

Requires at least one.

- Drainage swale / Bioswale
- Rain Garden / Bio Infiltration
- Rain Barrel

**Additional Landscape Requirements:**

Check all that apply and provide qty's.

**3. Corner Lot**

<input type="checkbox"/>		Required	Provided
	Trees	+1	_____
	Shrubs	+6	_____

**4. High-Visibility Lot**

<input type="checkbox"/>		Required	Provided
	Trees	+1	_____

**5. Perimeter or Laned Lot**

<input type="checkbox"/>		Required	Provided
	Trees	+1 /rear	_____

**Landscape Summary:**

Provide total shrubs and trees proposed.

		Provided
Total Trees		_____
Total Shrubs		_____

# appendix **B** BUILDING PLAN APPROVAL APPLICATION FORM

### USE OF DESIGN REVIEW APPROVAL SERVICES

Although a reasonable effort has been made to ensure the accuracy of the contents of these Design Guidelines, the Developer and the DRC cannot be responsible for any errors, omissions or inaccuracies contained herein. The Developer and the DRC can assume no responsibility or liability whatsoever associated with the use of the Design Guidelines contained herein and no representation is made as to the accuracy or completeness of the Design Guidelines herein. The Design Guidelines are subject to amendment and supplementation and any such amendments or supplements are not included herein. To ensure that a complete and accurate copy of these Design Guidelines is being consulted, refer to the then current Design Guidelines and any amendments and supplements held by the Developer.

The Builder / Lot Owner acknowledges that they will hold the Developer and its Consultants harmless from any action resulting for the use of this information.

**I fully understand the above and with my signature agree to all the above terms.**

Signature of Builder / Lot Owner \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name

Signature of Builder / Lot Owner \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name

Signature of Builder / Lot Owner \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name



# appendix **C** SUBMISSION REQUIREMENTS

All drawings and required documentation shall be submitted electronically in PDF format to the DRC, Windward Landtec Inc. (e: info@windwardlandtec.com). Refer to Section 2.2 for additional contact info.

NOTE: Applications are to be submitted as complete sets only (drawing and application forms) Refer to Section 3.8.

DESCRIPTION OF ITEM	DRAWING SCALE	COPIES REQ'D.
<b>1. BUILDING PLAN APPROVAL APPLICATION</b> (appendix B) <ul style="list-style-type: none"> <li>Completed entirely and signed by the Builder / Lot Owner.</li> </ul>	8.5 x 11	1
<b>2. PLOT PLAN</b> (survey) <ul style="list-style-type: none"> <li>Prepared by an Alberta Land Surveyor.</li> <li>Scale - 1:300 metric including North arrow;</li> <li>Legal Description of property including Municipal address;</li> <li>All property lines, designated and dimensioned;</li> <li>Size and location of the proposed building(s) dimensioned to property lines, existing buildings and other structures, where applicable;</li> <li>All cantilevers (including floor, bay windows, fireplaces, eaves, etc.);</li> <li>Abutting streets, avenues, reserves, etc. Easements and utility right-of-way labeled and dimensioned, accurately illustrated, explicit and complete;</li> <li>Spot elevations around building(s) and drainage direction; and</li> <li>Dimensions from property line to sidewalk and face of curbs.</li> </ul>	1:300 metric	1
<b>3. HOUSE CONSTRUCTION DRAWINGS</b> (building permit level) <ul style="list-style-type: none"> <li>Fully dimensioned and annotated plans of all floors (including proposed geodetic elevations of each);</li> <li>Fully dimensioned and annotated elevations of all building facades (including roof slopes);</li> <li>Fully dimensioned and annotated longitudinal section of the primary building;</li> <li><u>Roof Plan</u> indicating all proposed roof slopes AND proposed solar array layout;</li> <li>All materials and colours on all facades are to be listed on the elevational drawings, and/or in a finish schedule, detailing:               <ul style="list-style-type: none"> <li>Wall cladding, and all trim (window, door, corner boards, etc.);</li> <li>Windows and Doors;</li> <li>Roof materials including solar details;</li> <li>Soffit, fascia, and rainware for all roofs (main, porch, dormers);</li> <li>Porch floor including all stairs / steps to the home and porch; and Columns, columns bases and balustrades.</li> </ul> </li> </ul>	1:50 metric (1/4" = 1'-0")	1
<b>4. LANDSCAPE PLAN</b> (building permit level) <ul style="list-style-type: none"> <li>Fully dimensional and annotated plan of all hard surfacing (sidewalks, driveways, patios);</li> <li>Schedule of hard surfacing indicating Permeable vs. Non-Permeable;</li> <li>Lawn specification and location of each (Traditional Mowed vs. Alternative)</li> <li>Locations of all proposed trees, shrubs, and Prepared Planting Beds;</li> <li>Schedule of all proposed tree and shrub planting (including quantities, common name, and size at time of planting);</li> <li>Location of proposed Stormwater Management Strategies;</li> <li>Specification / description of proposed Mulch.</li> </ul>	1:300 metric (or larger)	1

# appendix **D** PRE-EXISTING LOT DAMAGE REPORT

This form must be completed by the Builder / Lot Owner or designated applicant and submitted along with all required plans and other documents as noted in APPENDIX C to the DRC for Design Guideline Approval.

Stage: Goodridge Corners - **Stage 3** Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Plan: \_\_\_\_\_

Civic Address: \_\_\_\_\_

Builder / Lot Owner: \_\_\_\_\_

Contact Name: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_ Fax: \_\_\_\_\_

DESCRIPTION OF ITEM	DAMAGE		DESCRIPTION OF DAMAGE (PROVIDE PHOTOGRAPHIC DOCUMENTATION)
	NO	YES	
Municipal Sidewalks	_____	_____	_____
Concrete Curb and Gutter	_____	_____	_____
Concrete / Grass Drainage Swales	_____	_____	_____
Asphalt Roadway	_____	_____	_____
Street Furniture (street lamps, signs etc.)	_____	_____	_____
Adjacent Park or Vegetated Area	_____	_____	_____
Landscaping (Adjacent / Developer)	_____	_____	_____
Neighbouring Building Lot(s)	_____	_____	_____
Fencing (Adjacent / Developer)	_____	_____	_____
Asphalt Trail	_____	_____	_____
Water Valve	_____	_____	_____

Review Completed By: \_\_\_\_\_ Date: \_\_\_\_\_  
Print Name

**TO BE COMPLETED BY THE DEVELOPERS REPRESENTATIVE**

Received from Applicant: Received by: \_\_\_\_\_ Date: \_\_\_\_\_

Site Verification: Completed by: \_\_\_\_\_ Date: \_\_\_\_\_

Notes: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# appendix **E** APPLICATION FOR FINAL REVIEW

**Stage:** Goodridge Corners - **Stage 3**    **Lot:** \_\_\_\_\_ **Block:** \_\_\_\_\_ **Plan:** \_\_\_\_\_

**Civic Address:** \_\_\_\_\_

**Registered Lot Owner:** \_\_\_\_\_

**Mailing Address:** \_\_\_\_\_

**Contact Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_ **Email:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

**Builder / Lot Owner** (if other than above): \_\_\_\_\_

**Contact Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_ **Email:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

**ATTACHMENTS:**

All applicants are required to submit the following requirements as a prerequisite to Final Approval.

- Final lot grading approval pursuant to the Drainage Bylaw Number 18093 for the Sale Land.
- Energuide certification label confirming the Development has been constructed in accordance with the Sustainable Certification.
- Built Green® Canada label confirming that the Development has received Built Green® Platinum certification.

I have complied with all requirements of these Design Guidelines, including Section 4 - Sustainable Certification and the design guideline approval granted by the Developer and the Design Review Consultant. The house and landscape work are in conformance with the drawings and specifications approved by the Developer and the Design Review Consultant. I acknowledge that the Developer and/or their representatives, shall not be responsible for delays due to unapproved revisions or deficiencies in the construction of the Home and the landscape work.

**Signature of Builder / Lot Owner** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Signature of Builder / Lot Owner** \_\_\_\_\_ **Date:** \_\_\_\_\_

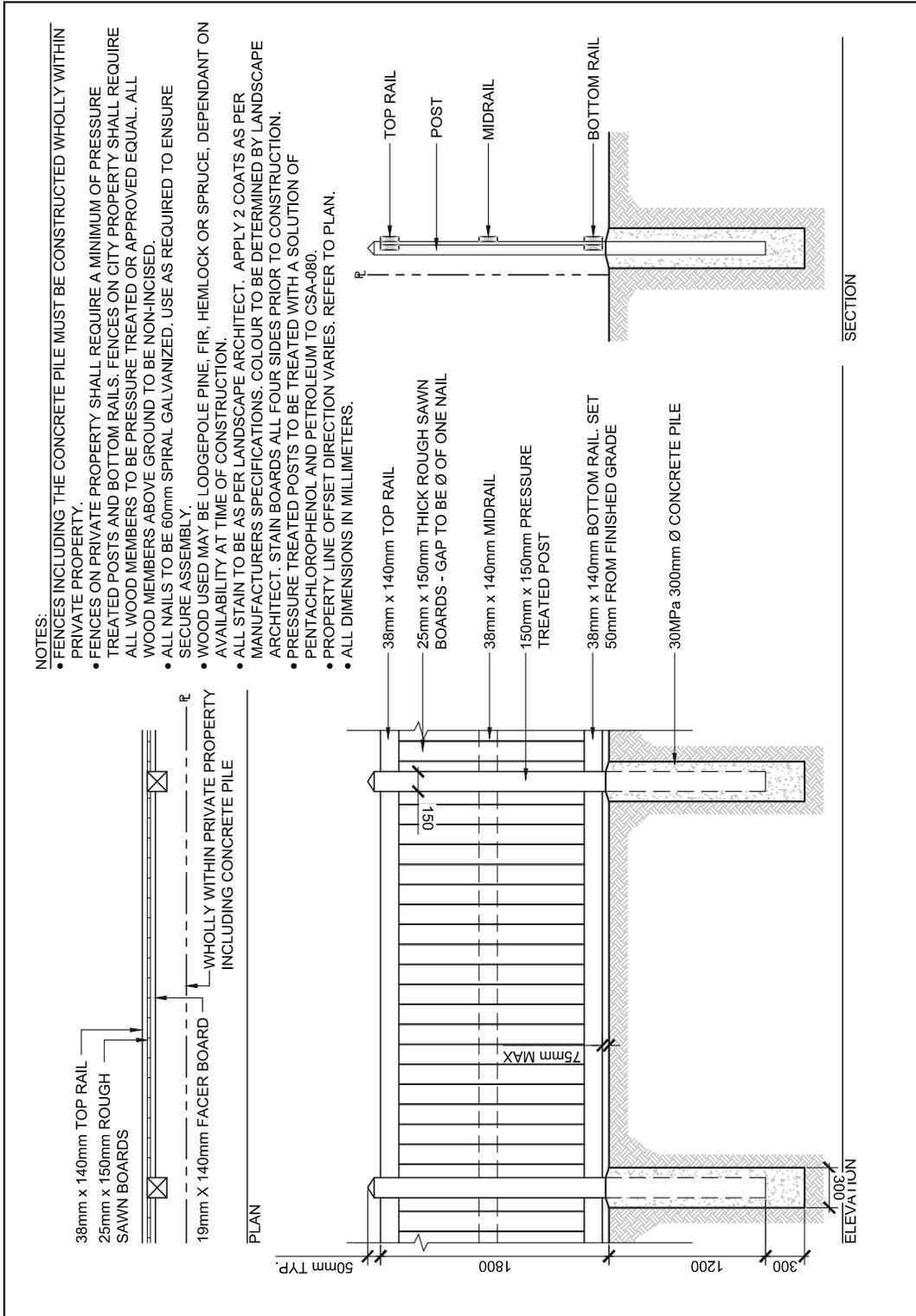
**Signature of Builder / Lot Owner** \_\_\_\_\_ **Date:** \_\_\_\_\_



# figure 1 NEIGHBOURHOOD PLAN and DRIVEWAY LOCATION

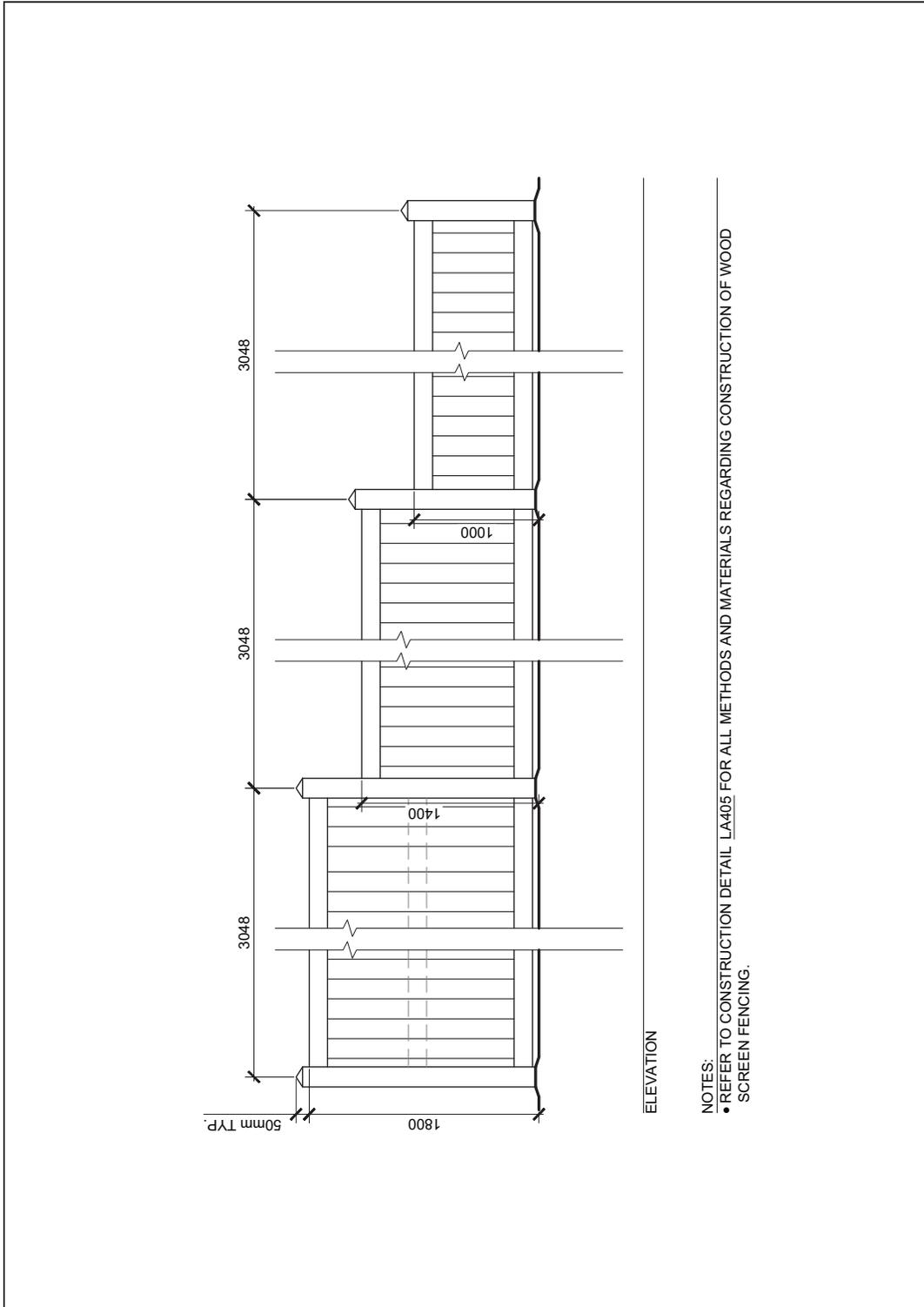


# figure 2 SUBDIVISION FENCING and COLOUR



THE CITY OF <b>Edmonton</b>		<h2>1800mm HEIGHT WOOD SCREEN FENCE</h2>	
Date Approved: JUNE 2017	Drawn By: PARKS PLANNING		Revision
Scale: N.T.S.	Checked By: PARKS PLANNING		Drawing No. LA405
			Old Drawing No. -

figure 2 SUBDIVISION FENCING and COLOUR



NOTES:  
 • REFER TO CONSTRUCTION DETAIL LA405 FOR ALL METHODS AND MATERIALS REGARDING CONSTRUCTION OF WOOD SCREEN FENCING.

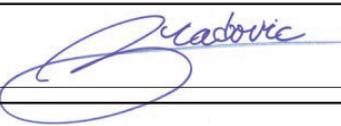
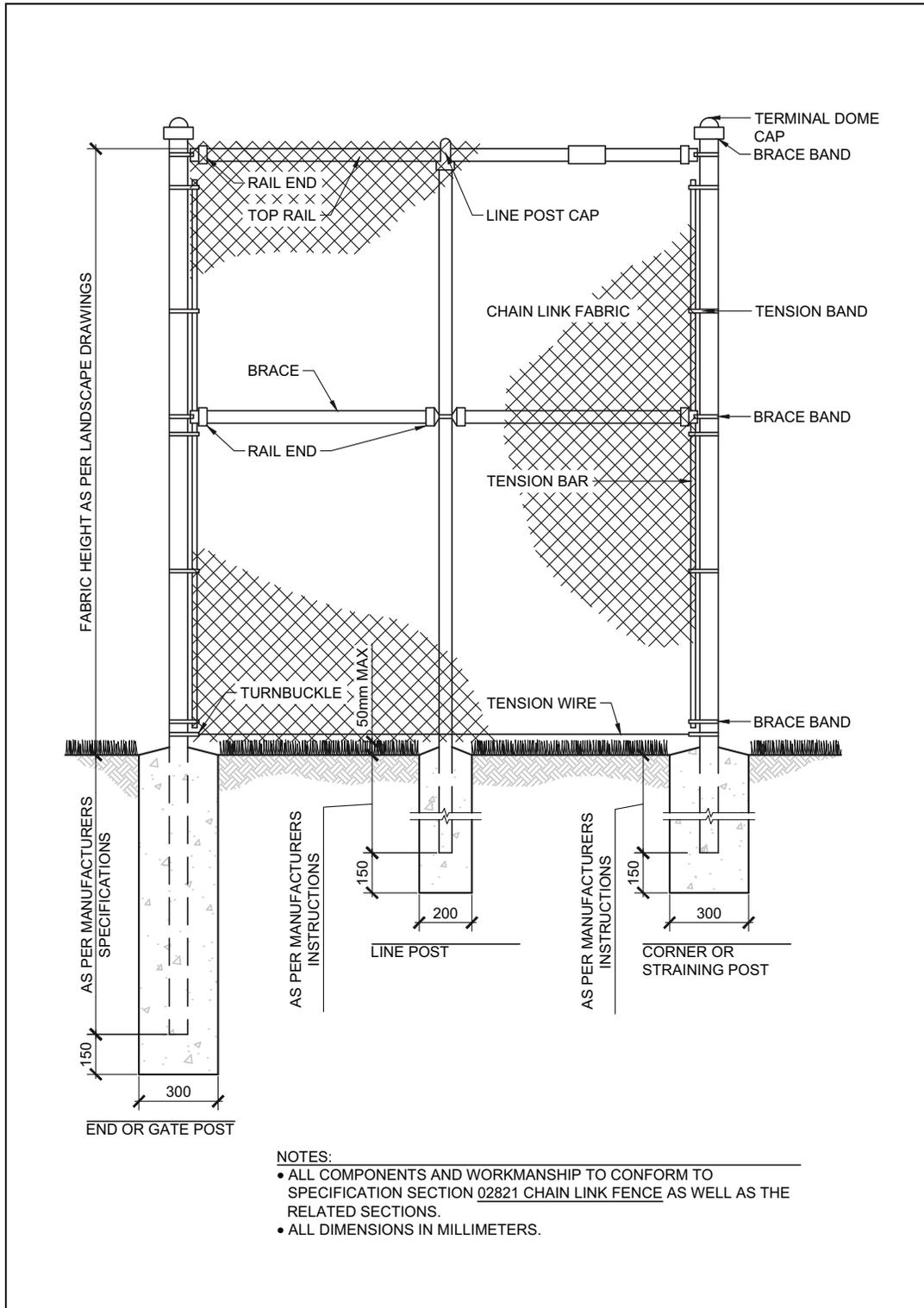
		<h2>WOOD SCREEN FENCE STEPDOWN</h2>	
Date Approved: SEPT 2013	Drawn By: PARKS PLANNING	Approved: 	Revision: -
Scale: N.T.S.	Checked By: PARKS PLANNING	Drawing No. LA406	Old Drawing No. -

figure 2 SUBDIVISION FENCING and COLOUR



- NOTES:
- ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO SPECIFICATION SECTION 02821 CHAIN LINK FENCE AS WELL AS THE RELATED SECTIONS.
  - ALL DIMENSIONS IN MILLIMETERS.

**Edmonton** THE CITY OF  
**CHAIN LINK FENCE**

Date Approved: JUNE 2015	Drawn By: PARKS PLANNING	Approved: <i>Frank Graparik</i>	Revision	Drawing No. LA407
Scale: N.T.S.	Checked By: PARKS PLANNING			Old Drawing No. 9450

## figure 3 NATIVE PLANT LIST - TREES

### NATIVE TREES - REGULAR TO MOIST SOIL

COMMON NAME		HEIGHT (m) / SPREAD (m)	SUN / SHADE
Balsam Fir	<i>Abies balsamea</i>	10.0 / 4.0	Sun / Shade
Subalpine Fir	<i>Abies lasiocarpa</i>	15.0 / 5.0	Sun / Shade
Thinleaf Alder / River Alder	<i>Alnus incana</i>	15.0 / 4.0	Sun
Paper Birch	<i>Betula papyrifera</i>	12.0 / 6.0	Sun
Tamarack	<i>Larix laricina</i>	10.0 / 4.0	Sun
White Spruce	<i>Picea glauca</i>	12.0 / 5.0	Sun
Black Spruce	<i>Picea mariana</i>	15.0 / 5.0	Sun / Shade
Lodgepole Pine	<i>Pinus contorta var. latifolia</i>	12.0 / 3.0	Sun
Balsam Poplar	<i>Populus balsamifera</i>	15.0 / 6.0	Sun
Trembling Aspen	<i>Populus tremuloides</i>	10.0 / 5.0	Sun
Pin Cherry	<i>Prunus pensylvanica</i>	5.0 / 3.0	Sun
Chokecherry	<i>Prunus virginiana</i>	8.0 / 4.0	Sun
Peachleaf Willow	<i>Salix amygdaloides</i>	15.0 / 5.0	Sun

### NATIVE TREES - WET CONDITIONS

COMMON NAME		HEIGHT (m) / SPREAD (m)	SUN / SHADE
Tamarack	<i>Larix laricina</i>	10.0 / 4.0	Sun
Black Spruce	<i>Picea mariana</i>	15.0 / 5.0	Sun / Shade
Balsam Poplar	<i>Populus balsamifera</i>	10.0 / 4.0	Sun
Chokecherry	<i>Prunus virginiana</i>	8.0 / 4.0	Sun

### NATIVE TREES - DRY CONDITIONS

COMMON NAME		HEIGHT (m) / SPREAD (m)	SUN / SHADE
Subalpine Fir	<i>Abies lasiocarpa</i>	15.0 / 5.0	Sun / Shade
Rocky Mountain Juniper	<i>Juniperus scopulorum</i>	3.0 / 1.5	Sun
Jack Pine	<i>Pinus banksiana</i>	12.0 / 5.0	Sun
Lodgepole Pine	<i>Pinus contorta var. latifolia</i>	12.0 / 3.0	Sun

## figure 3 NATIVE PLANT LIST - SHRUBS

### NATIVE SHRUBS - REGULAR TO MOIST SOIL

COMMON NAME		HEIGHT (m) / SPREAD (m)	SUN / SHADE
Saskatoon Serviceberry	<i>Amelanchier alnifolia</i>	3.0 / 2.0	Sun / Part Shade
Scrub Birch	<i>Betula glandulosa</i>	1.8 / 1.8	Sun
Bog Birch	<i>Betula pumila</i>	2.0 / 2.0	Sun / Shade
Red Osier Dogwood	<i>Cornus sericea</i>	2.0 / 2.0	Sun / Part Shade
Beaked Hazelnut	<i>Corylus cornuta</i>	2.5 / 2.0	Sun / Shade
Wolf Willow	<i>Elaeagnus commutate</i>	2.0 / 2.0	Sun
Twinberry Honeysuckle	<i>Lonicera involucrata</i>	3.0 / 3.0	Sun / Shade
Shrubby Cinquefoil	<i>Potentilla fruticosa</i>	1.5 / 1.5	Sun
Buffalo Currant	<i>Ribes aureum</i>	1.5 / 1.5	Sun / Part Shade
Hudson Bay Currant	<i>Ribes hudsonianum</i>	1.8 / 1.8	Sun / Shade
Canadian Gooseberry	<i>Ribes oxycanthoides</i>	1.5 / 1.5	Sun / Shade
Prickly Wild Rose	<i>Rosa acicularis</i>	1.0 / 1.0	Sun / Part Shade
Common Wild Rose	<i>Rosa woodsii</i>	1.0 / 1.0	Sun / Part Shade
American Red Raspberry	<i>Rubus idaeua</i>	1.0 / 1.0	Sun
Wild Red Raspberry	<i>Rubus idaeus strigosus</i>	1.0 / 1.0	Sun
Beaked Willow	<i>Salix bebbiana</i>	3.0 / 2.0	Sun / Shade
Meadow Willow	<i>Salix petiolaris</i>	2.5 / 2.5	Sun / Part Shade
Red Elderberry	<i>Sambucus racemosa</i>	2.0 / 2.0	Sun / Part Shade
Silver Buffaloberry	<i>Shepherdia argentea</i>	4.0 / 3.0	Sun
Canadian Buffaloberry	<i>Shepherdia canadensis</i>	2.0 / 1.5	Sun / Part Shade
White Meadowsweet	<i>Spiraea betulifolia</i>	1.0 / 1.0	Sun / Part Shade
Common Snowberry	<i>Symphoricarpos albus</i>	1.5 / 1.5	Sun / Part Shade
Wolfberry	<i>Symphoricarpos occidentalis</i>	1.0 / 1.5	Sun / Part Shade
Lowbush Cranberry	<i>Viburnum edule</i>	2.0 / 2.0	Sun / Shade
Highbush Cranberry	<i>Viburnum trilobum</i>	2.0 / 2.0	Sun / Part Shade

### NATIVE SHRUBS - WET CONDITIONS

Green Alder	<i>Alnus viridis crispa</i>	2.5 / 2.5	Shade / Part Shade
Saskatoon Serviceberry	<i>Amelanchier alnifolia</i>	3.0 / 2.0	Sun / Part Shade
Bog Birch	<i>Betula pumila</i>	2.0 / 2.0	Sun / Shade
Canadian Gooseberry	<i>Ribes oxycanthoides</i>	1.5 / 1.5	Sun / Shade
Beaked Willow	<i>Salix bebbiana</i>	3.0 / 2.0	Sun / Shade
Pussy Willow	<i>Salix discolor</i>	3.0 / 2.0	Sun
Sandbar Willow	<i>Salix exigua</i>	2.0 / 2.0	Sun
Silver Buffaloberry	<i>Shepherdia argentea</i>	4.0 / 3.0	Sun

### NATIVE SHRUBS - DRY CONDITIONS

Common Juniper	<i>Juniperus communis</i>	0.3 / 1.5	Sun / Part Shade
Creeping Juniper	<i>Juniperus horizontalis</i>	0.4 / 2.0	Sun / Part Shade
Yucca glauca	Soapweed	0.9 / 1.2	Sun