

- NOTES:
- PRIVATE TO PRIVATE CROSS LOT DRAINAGE EASEMENT AND RESTRICTIVE COVENANT REQUIRED FOR LOTS 1-23, BLOCK 3.
  - SURROUNDING AREAS OUTSIDE THE DEVELOPMENT BOUNDARY ARE TO BE PRE-GRADED TO ELIMINATE LOW AREAS AND PONDING WATER. ENSURE POSITIVE DRAINAGE AWAY FROM THE SUBDIVISION IS MAINTAINED.

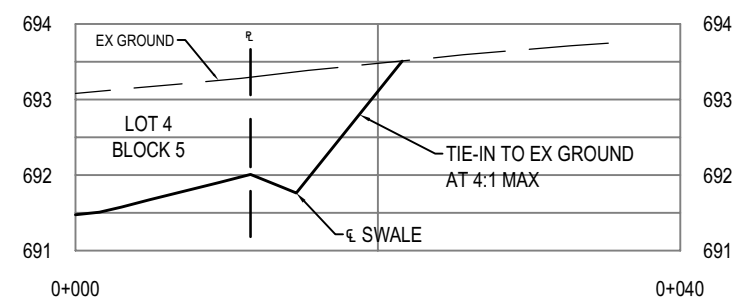
- LOT SERVICING NOTES:
- BUILDERS / HOME OWNERS ARE REQUIRED TO CONNECT SUMP PUMPS TO THE STORM SERVICES ON ALL LOTS.
  - ALL ROOF LEADERS ARE TO DISCHARGE TO SPLASH PADS EXCEPT WHERE OTHERWISE NOTED (SEE THIS DRAWING FOR SPLASH PAD DETAILS).
  - BUILDERS / HOME OWNERS ARE REQUIRED TO CONNECT HOUSE ROOF LEADERS TO THE STORM SERVICES FOR LOTS 12, BLOCK 4 AND LOTS 1-23, BLOCK 3.

**GRADING NOTE:**  
DRAINAGE SERVICES REVIEW AND APPROVAL OF THE LOT GRADING PLAN RELATES EXCLUSIVELY TO THE SURFACE DRAINAGE DESIGN, AND DOES NOT ADDRESS REQUIREMENTS FOR BUILDING FOUNDATIONS OR ANY OTHER USE OF THE LANDS, AND DOES NOT IMPLY THE SUITABILITY OF THE GROUND OR FILLS FOR ANY FOUNDATION REQUIREMENTS OR OTHER USE. IT IS THE OWNER OR THE BUILDER'S RESPONSIBILITY TO EMPLOY THE SERVICES OF A QUALIFIED GEOTECHNICAL CONSULTANT TO DETERMINE GROUND AND SUBSURFACE CONDITIONS THAT MAY AFFECT FOUNDATION DESIGN OR OTHER USE REQUIREMENTS.

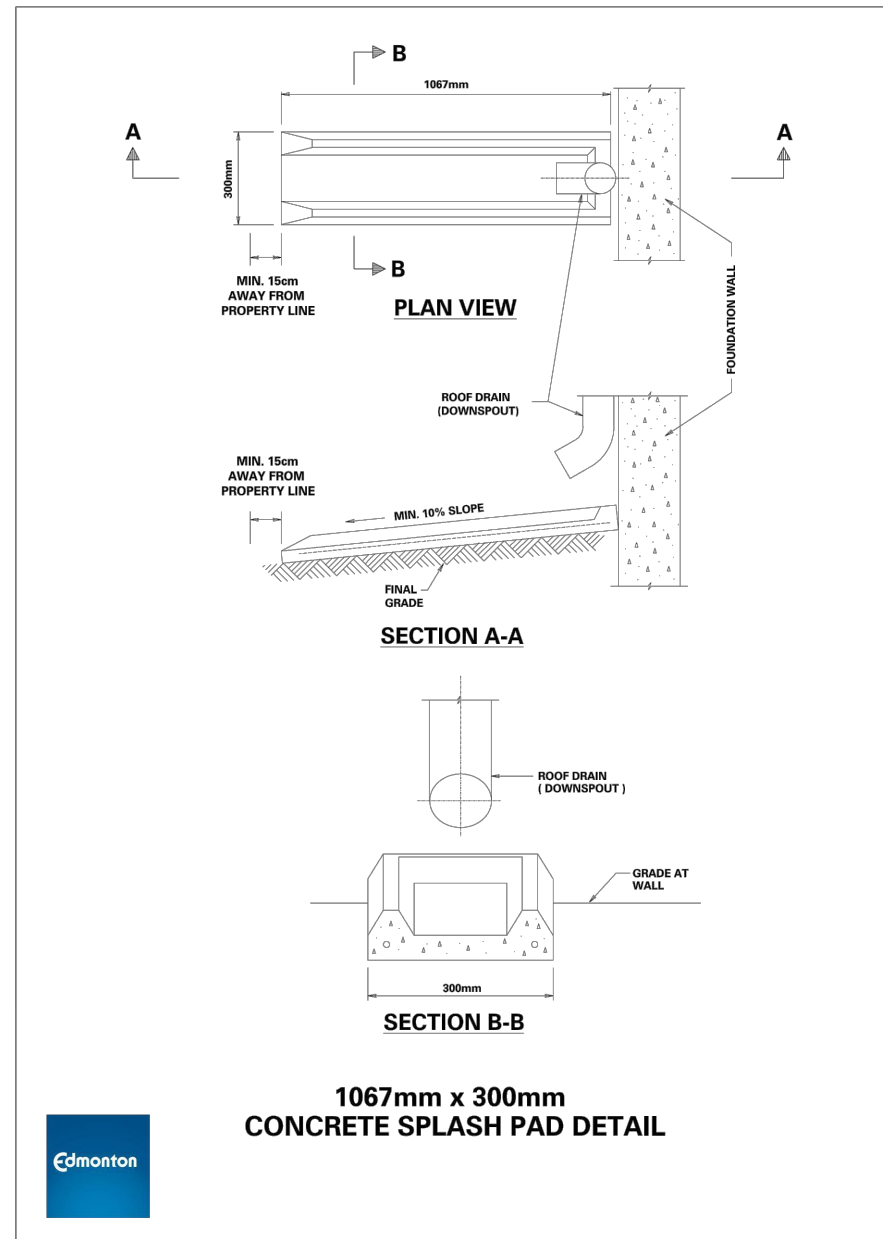
BUILDERS / HOME OWNERS MUST CONDUCT A GEOTECHNICAL EVALUATION PRIOR TO CONSTRUCTION OF HOUSE FOUNDATION DUE TO POSSIBLE SUBGRADE DISTURBANCE DURING THE INSTALLATION OF STORM SEWER IN THE ADJACENT ALLEY. A DISTURBED SOIL CAVEAT IS TO BE IN PLACE FOR LOTS 27-28, BLOCK 3 PRIOR TO EPCOR DRAINAGE SERVICES ISSUING CONSTRUCTION COMPLETION CERTIFICATE.

BUILDERS / HOME OWNERS MUST OBTAIN A BEARING GRADE CERTIFICATE FROM THE GEOTECHNICAL ENGINEER FOR LOTS 2-20, 49, 50 BLOCK 4 AND LOTS 13-47, BLOCK 3.

SEE DRAWING C007-002 FOR DETAILED GRADING OF DUPLEX AND MULTI-PLEX LOTS.

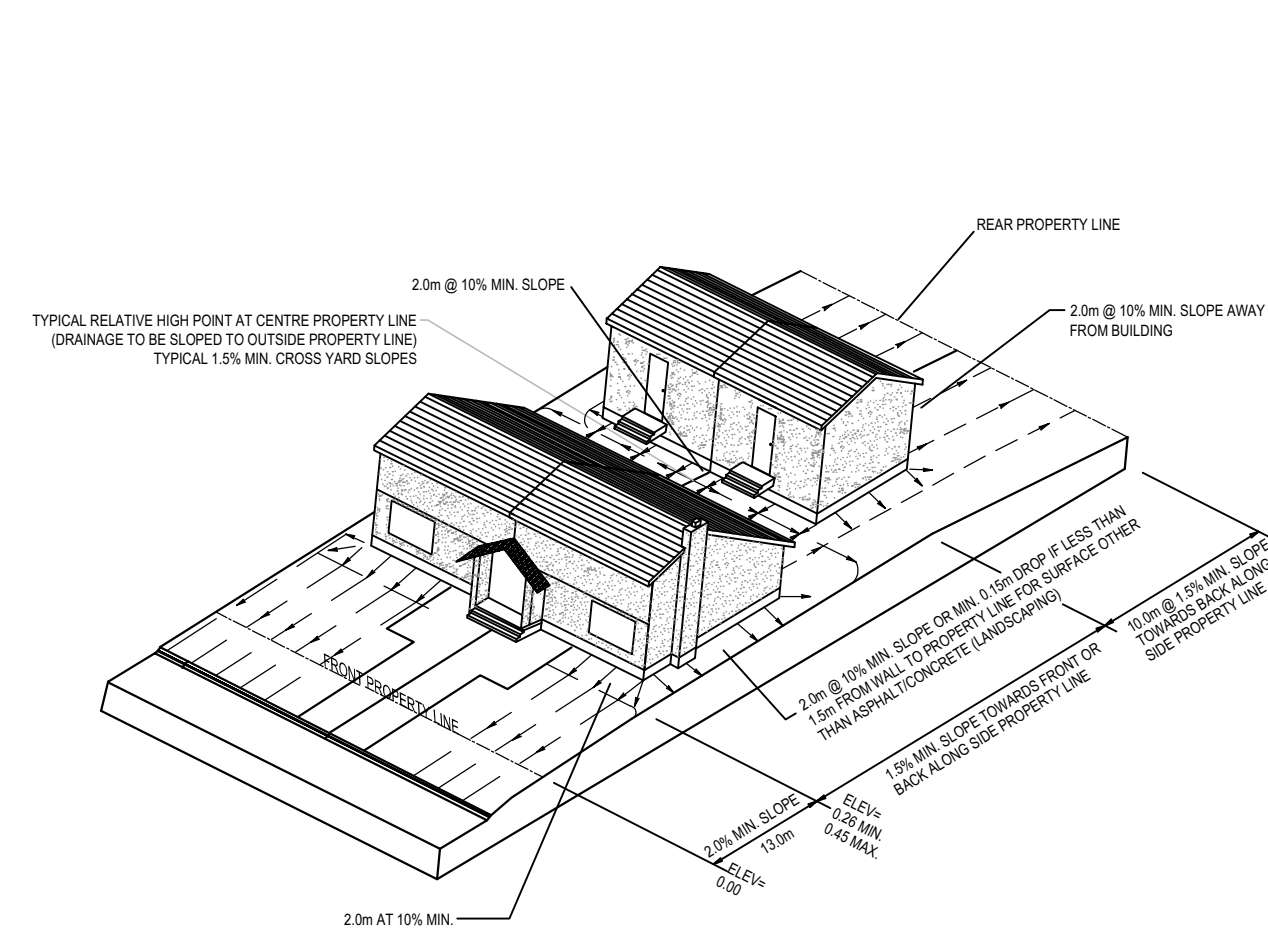


SECTION A  
N.T.S.  
C007-001

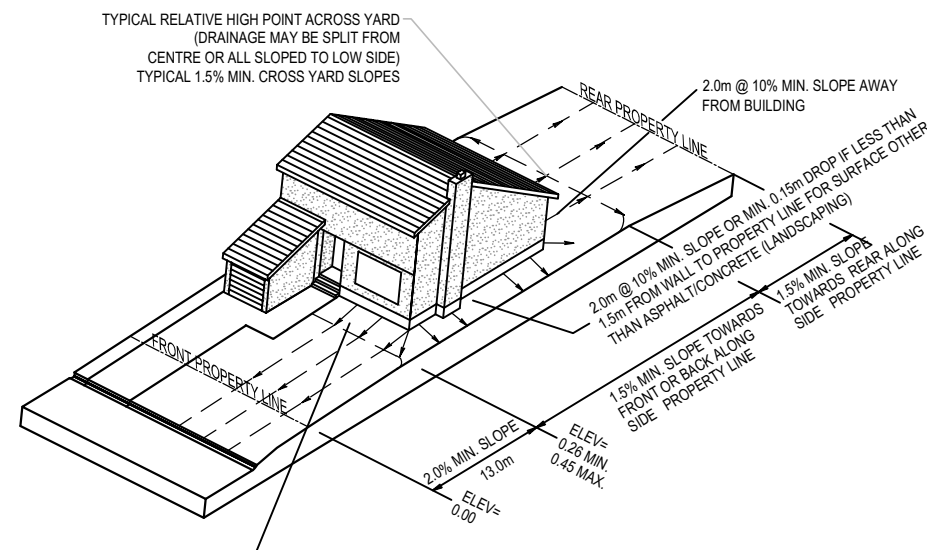


DDA: LOTSTD2012.DGN SEP 2017

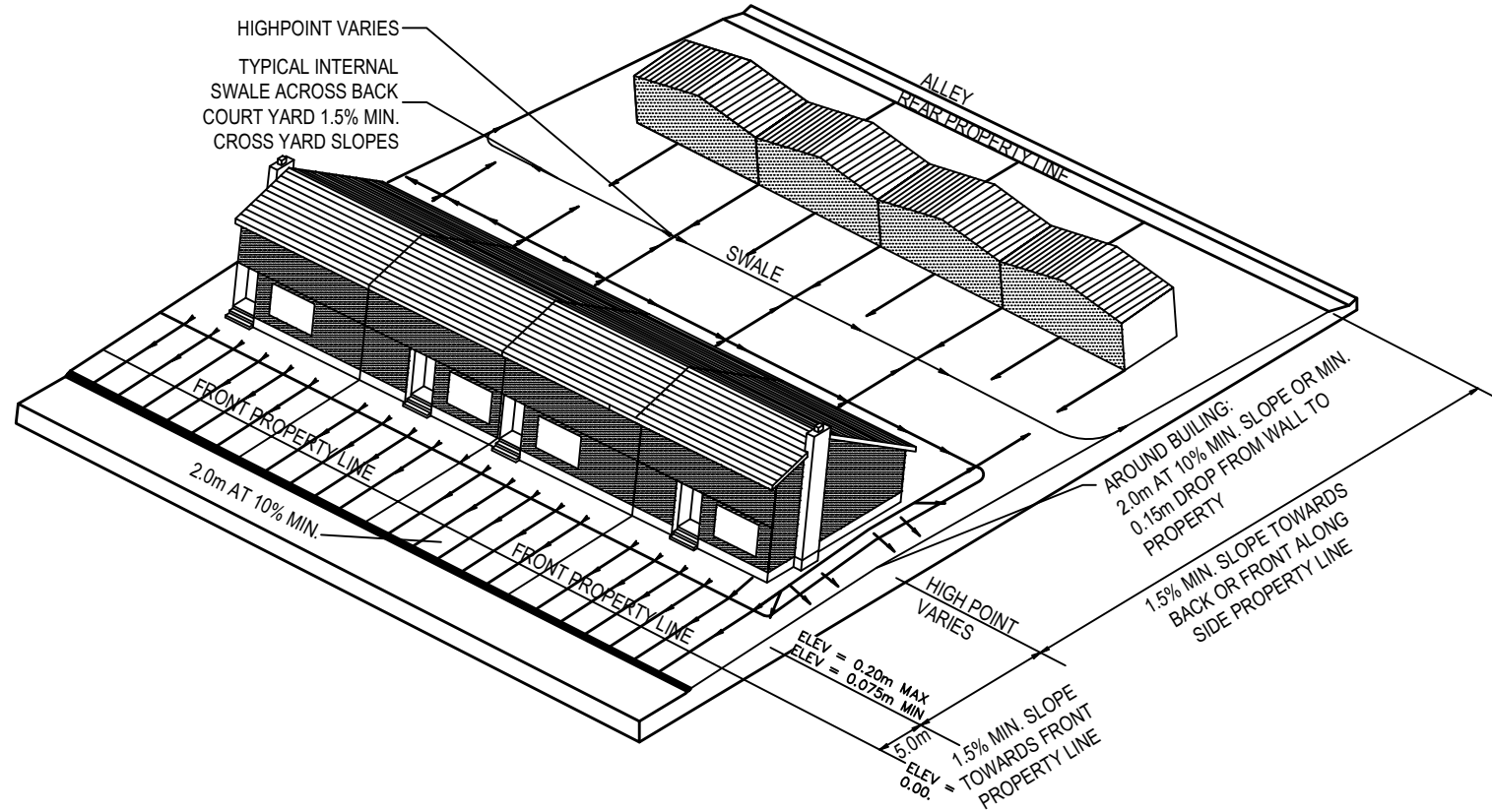
0 10 20  
SCALE 1:1000



TYPE D1  
SPLIT DRAINAGE DUPLEX  
REAR ALLEY DETACHED GARAGE

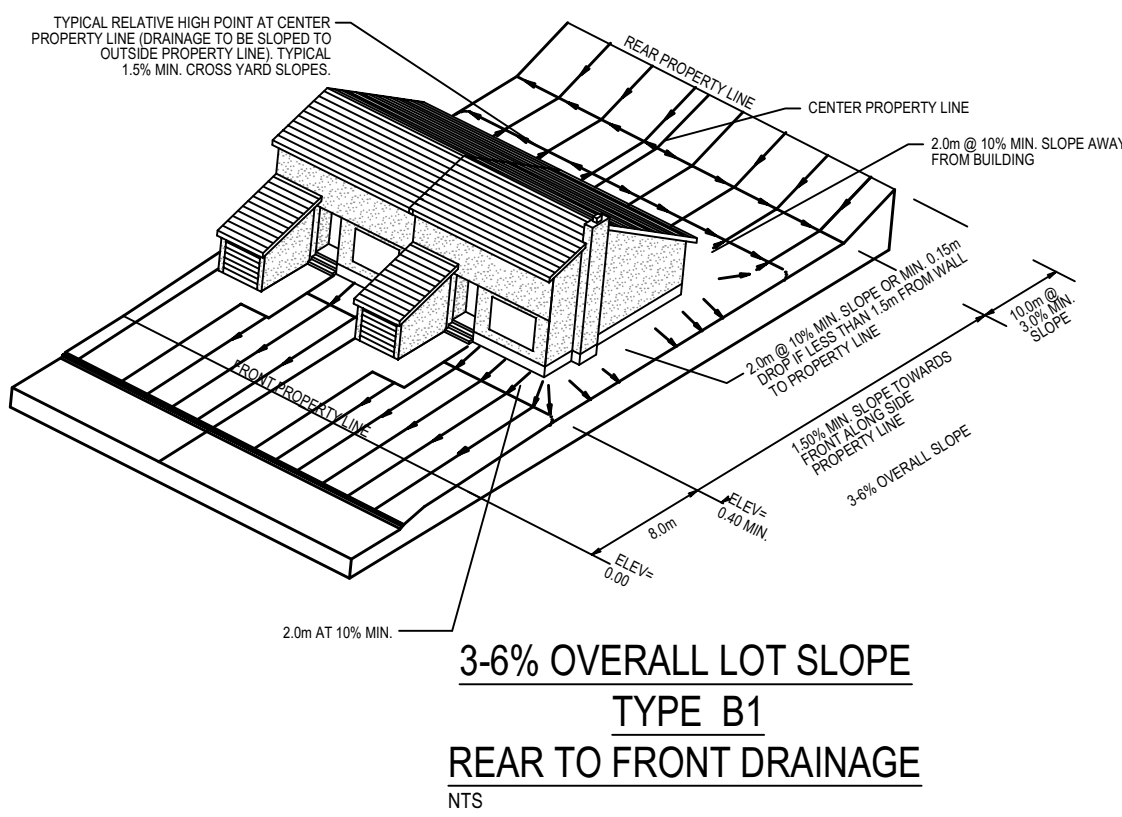


TYPE D  
STANDARD SPLIT DRAINAGE

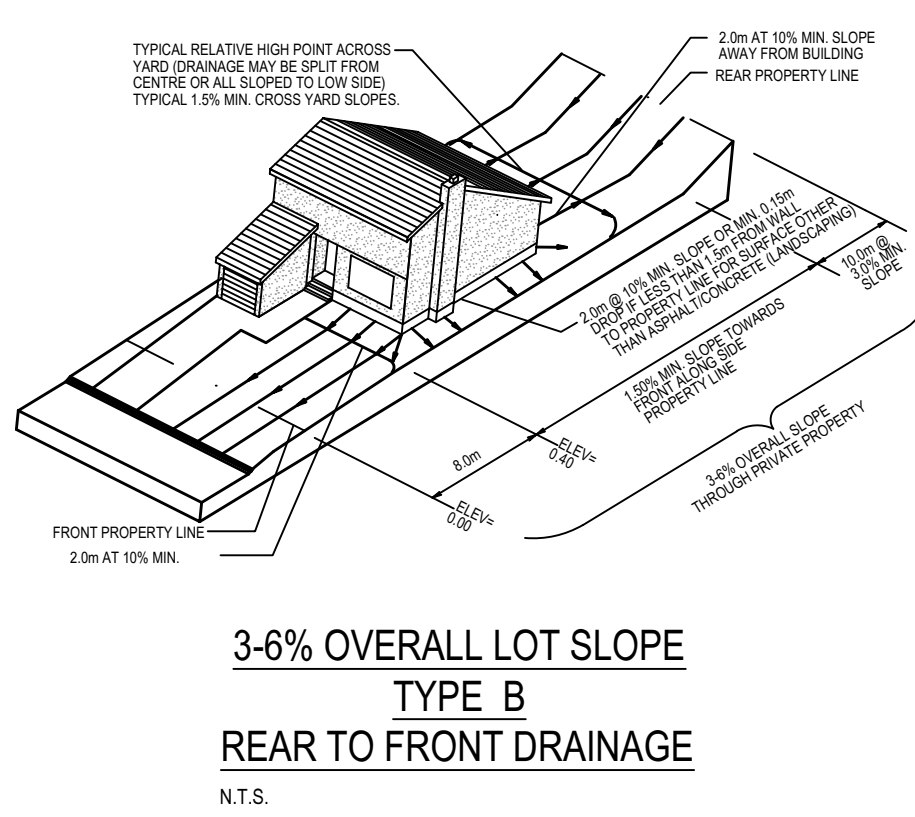


TYPE SM1  
STANDARD SPLIT DRAINAGE (MULTI-PLEX)  
3 OR MORE UNITS

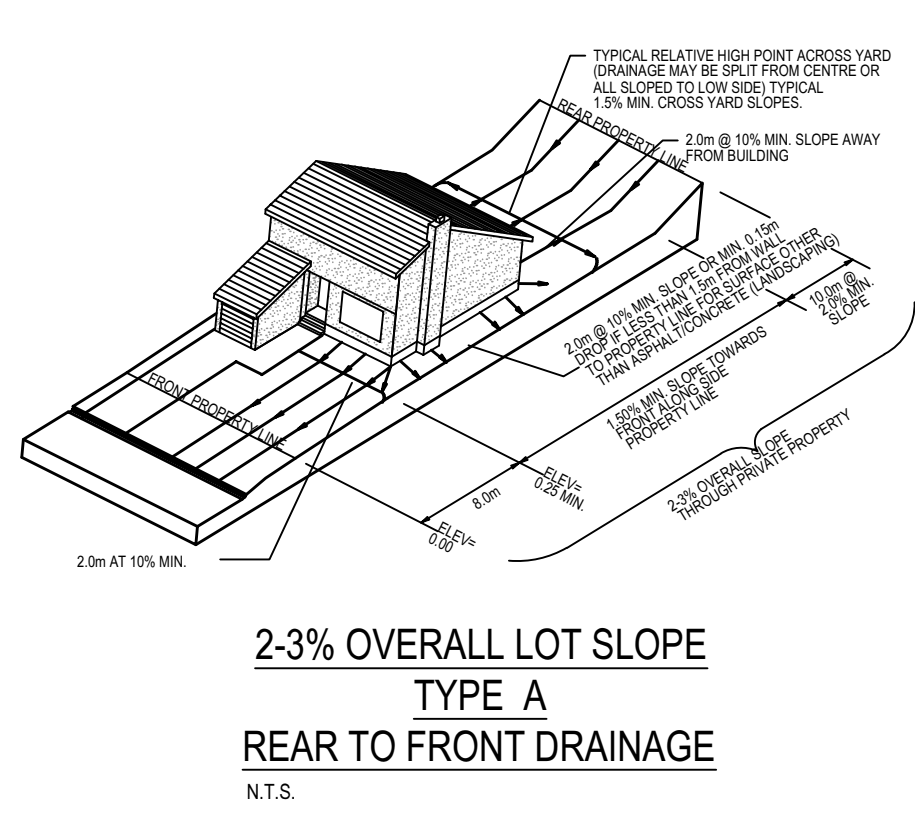
- NOTES:
- MAINTAIN POSITIVE SLOPE FROM THE DWELLING AND GARAGE TOWARDS THE INTERNAL REAR YARD SWALE.
  - ROOF LEADERS FROM THE DWELLINGS AND GARAGES ARE NOT PERMITTED TO DISCHARGE TO THE INTERNAL REAR YARD SWALE. ROOF LEADERS TO BE LOCATED AND ORIENTED TO DISCHARGE DIRECTLY TO THE REAR ALLEY OR FRONT STREET.
  - PRIVATE TO PRIVATE EASEMENT AND RESTRICTIVE COVENANT TO BE REGISTERED ON LOTS 1-23, BLOCK 3 TO ADDRESS CROSS LOT DRAINAGE.



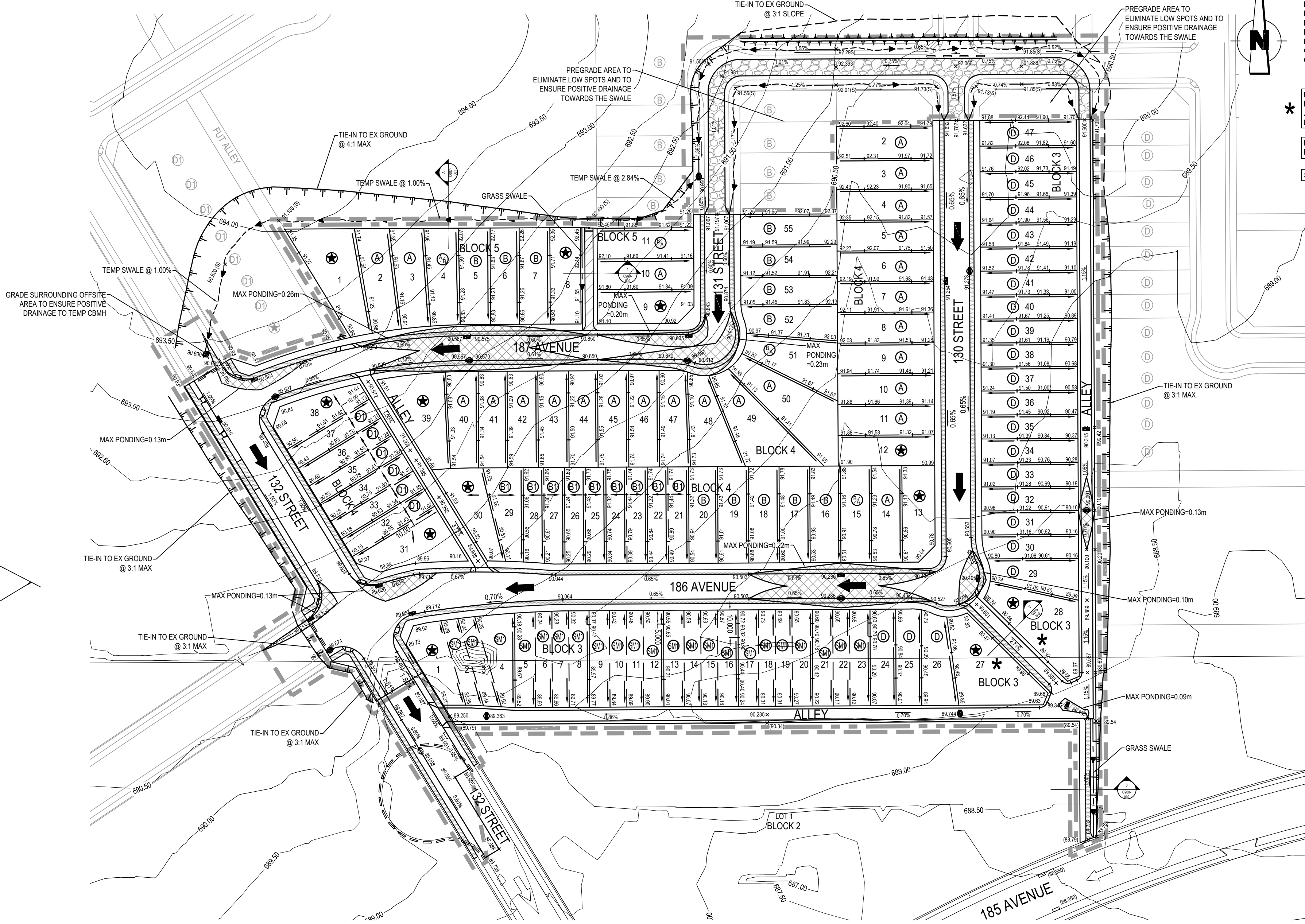
3-6% OVERALL LOT SLOPE  
TYPE B1  
REAR TO FRONT DRAINAGE  
N.T.S.



3-6% OVERALL LOT SLOPE  
TYPE B  
REAR TO FRONT DRAINAGE  
N.T.S.



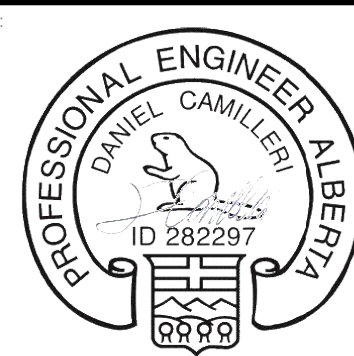
2-3% OVERALL LOT SLOPE  
TYPE A  
REAR TO FRONT DRAINAGE  
N.T.S.



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0	2024-04-23	ISSUED FOR CONSTRUCTION				
D	2024-04-05	ISSUED FOR APPROVAL				
C	2024-03-15	ISSUED FOR APPROVAL				
B	2024-02-09	ISSUED FOR APPROVAL				
A	2023-11-17	ISSUED FOR CITY COMMENTS				
IS	DATE					
		DESCRIPTION				
		ISSUED FOR - REVISION:				

CITY OF EDMONTON APPROVED

SEAL



April 24 2024



CLIENT:

CITY OF EDMONTON  
REAL ESTATE BRANCH

CLIENT REF. #:



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EDMONTON, ALBERTA, CANADA T5J 3L9  
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PROJECT NO:  
CA0004777.6239

PROJECT:

THE CITY OF EDMONTON  
GOODRIDGE CORNERS PHASE 3

ORIGINAL SCALE:  
1:1000  
DESIGNED BY:  
D.C.  
CHECKED BY:  
S.C.

DRAWN BY:  
H.B.  
APPROVED BY:  
L.M.

DISCIPLINE:  
CIVIL

TITLE:

OVERALL LOT GRADING AND  
MAJOR DRAINAGE PLAN

DRAWING NUMBER:

C007-001

ISSUE:

ISSUED FOR CONSTRUCTION  
DATE OF: 2024-04-23

0  
REV